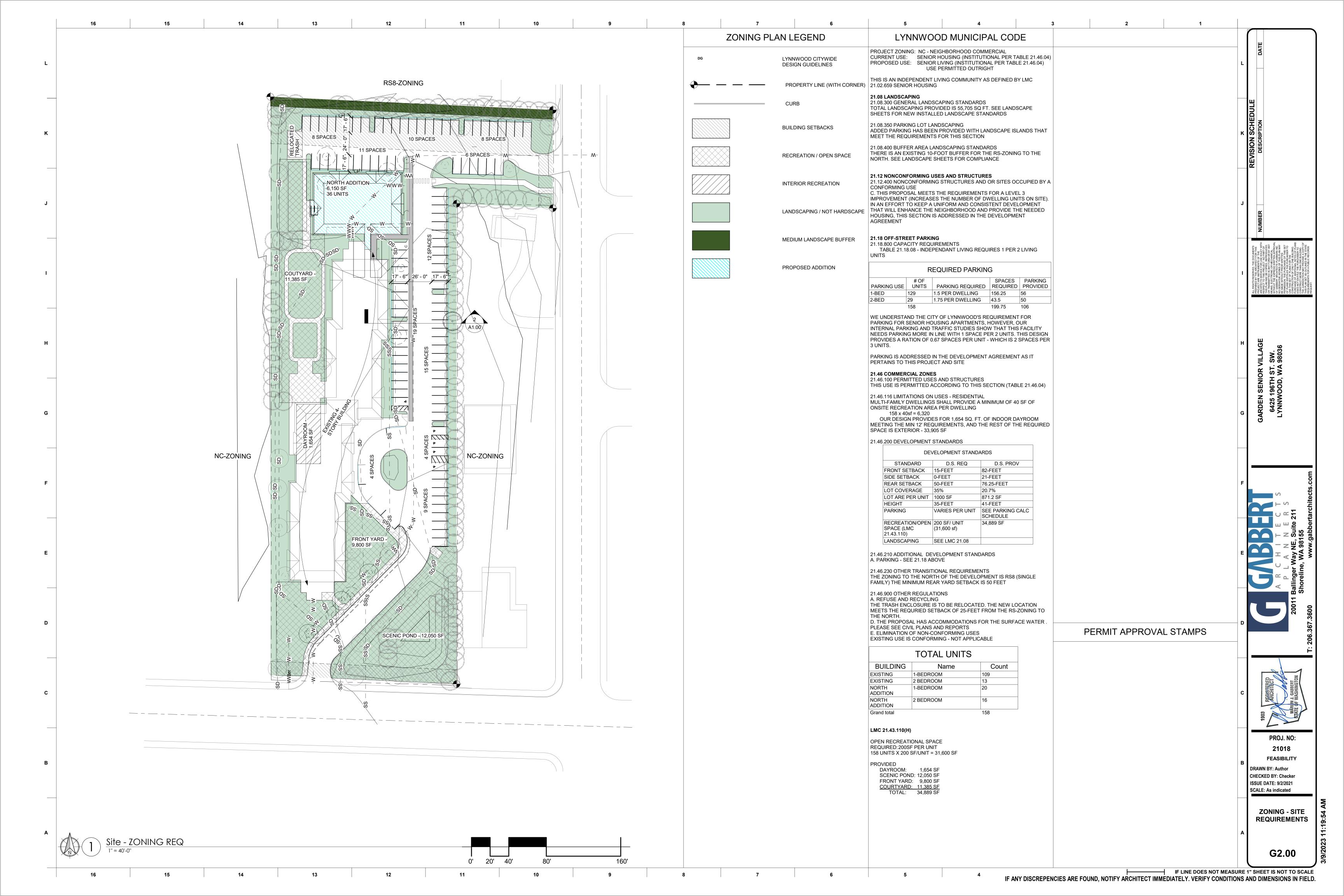
IF LINE DOES NOT MEASURE 1" SHEET IS NOT TO SCALE



PRIVATE DEVELOPER GENERAL NOTES

- 1. ALL WORK AND MATERIALS SHALL BE ACCORDING TO THE LATEST ADDITION OF "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION" (STANDARD SPECIFICATIONS) PREPARED BY WASHINGTON STATE CHAPTER, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT), CITY OF LYNNWOOD (CITY) STANDARD PLANS AND PLAN NOTES, SPECIFICATIONS, ANY CONDITIONS OF APPROVAL AND AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE ROFESSIONAL ENGINEER OF RECORD TO CORRECT ANY ERROR, OMISSIONS, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE CITY.
- 2. ALL CONSTRUCTION IS SUBJECT TO INSPECTION BY THE CITY. ALL WORK WITHIN THE SITE AND CITY RIGHT-OF-WAY SHALL BE SUBJECT TO INSPECTION BY THE CITY'S INSPECTOR. THE CONTRACTOR SHALL NOTIFY THE CITY OF THEIR SCHEDULE IN SUFFICIENT TIME TO PERMIT INSPECTION PRIOR TO AND DURING WORK. INSPECTIONS ARE LIMITED TO WEEKDAYS. FOR ONLINE INSPECTION REQUESTS AND MANAGING PERMITS GO TO HTTP: //DBS.LYNNWOODWA.GOV TO REGISTER AN ACCOUNT.
- 3. BEFORE ISSUANCE OF PERMITS, CONSTRUCTION, OR ANY DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING IS REQUIRED BETWEEN THE CITY'S INSPECTOR, THE APPLICANT AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE. TO SCHEDULE A PRECONSTRUCTION MEETING CONTACT
- 4. BEFORE ANY ON-SITE MOBILIZATION OR WORK MAY BEGIN, THE CONTRACTOR MUST HAVE AN APPROVED SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN AND AN APPROVED STORM WATER POLLUTION PREVENTION (SWPP) PLAN. SUBMITTAL OF THESE PLANS FOR APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING IS REQUIRED. SEE WSDOT STANDARD SPECIFICATIONS, SECTION 8-01.3(1)A.
- WORK NOT READY FOR A REQUESTED INSPECTION UPON THE ARRIVAL OF THE CITY INSPECTOR MUST BE RESCHEDULED FOR INSPECTION AND A RE-INSPECTION FEE MAY BE IMPOSED.
- 6. THE CONTRACTOR SHALL ALWAYS KEEP A PLAN SET ON SITE FOR RECORDING "AS—BUILT" INFORMATION. SEE SECTION 1-05.18 OF THE PROJECT WSDOT STANDARD SPECIFICATIONS FOR RECORD DRAWINGS REQUIREMENTS. A SURVEY SHALL BE PROVIDED AS NECESSARY TO CONFIRM ELEVATIONS, INVERTS AND GRADES FOR THE IMPROVEMENTS INCLUDING UTILITY, ROAD AND PEDESTRIAN IMPROVEMENTS INCLUDING AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBLE ROUTES. PROVIDE THE CITY WITH AN "AS-BUILT" PLAN SET AT THE COMPLETION OF CONSTRUCTION STAMPED AND SIGNED BY A LICENSED SURVEYOR AND/OR THE DESIGN ENGINEER, VERIFYING THE INFORMATION IS ACCURATE. THE "AS-BUILT" PLAN SET SHALL BE PROVIDED IN ELECTRONIC PDF FORMAT.
- 7. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 811 2 FULL BUSINESS DAYS MINIMUM PRIOR TO THE BEGINNING OF CONSTRUCTION TO REQUEST UTILITY LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND PERMITTING AGENCY PER NOTE 3 (ABOVE) AND SHALL BE RESOLVED AS SET FORTH IN SECTION 2-05 POTHOLING OF THE WSDOT STANDARD SPECIFICATIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- 8. SEE SECTION 1-07.6 OF THE WSDOT STANDARD SPECIFICATIONS FOR A NON-INCLUSIVE LIST OF PERMITS KNOWN TO BE REQUIRED FOR THIS PROJECT. PERMITS OBTAINED AND PAID FOR BY THE CITY WILL BE TRANSFERRED TO THE CONTRACTOR AND PICKED UP BY THEM PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR WILL BE REQUIRED TO SHOW A CONTRACTOR'S LICENSE AND A CITY BUSINESS LICENSE BEFORE PERMITS WILL BE ISSUED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL OTHER APPLICABLE PERMITS AND EASEMENTS AS MAY BE REQUIRED BY THE CITY OR OTHER PERMITTING AGENCIES.
- 9. CONSTRUCTION NOISE SHALL BE LIMITED AS PER LYNNWOOD MUNICIPAL CODE (LMC) (SECTION 10.12.300) FROM 7:00 AM TO 6:00 PM (MONDAY THROUGH FRIDAY). WEEKEND WORK IS PROHIBITED UNLESS APPROVED PER LMC10.12.300. SEE ALSO SECTION 1-07.5(5), NOISE CONTROL AND WORK PERFORMED AT NIGHT, IN THE WSDOT STANDARD SPECIFICATIONS.
- 10. DATUM SHALL BE CITY OF LYNNWOOD (NAVD88) UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF PUBLIC WORKS. THE BENCHMARK SHALL TIE TO THE CITY'S BENCHMARK LIST.
- 11. APPROVAL MUST BE OBTAINED FROM THE CITY DEPARTMENT OF PUBLIC WORKS BEFORE ANY STRUCTURES, FILL OR OBSTRUCTIONS, INCLUDING FENCES, ARE LOCATED WITHIN ANY DRAINAGE
- EASEMENT, FLOOD PLAIN OR NATIVE GROWTH PROTECTION EASEMENT (NGPE). 12. WHERE CONSTRUCTION IS CARRIED OUT IN AREAS NOT SPECIFIED ON THE PLANS AND WHICH HAVE EXISTING IMPROVEMENTS, APPROPRIATE MEASURES SHALL BE TAKEN TO RESTORE SUCH AREAS TO CONDITIONS EXISTING PRIOR TO CONSTRUCTION OR AS REQUIRED BY THE CITY DEPARTMENT OF PUBLIC WORKS
- 13. OFF-SITE PREMISE STAGING OR STORAGE AREAS SHALL REQUIRE A WRITTEN RELEASE FROM THE AFFECTED PROPERTY OWNER. IN ADDITION, A RELEASE FROM THE CITY SHALL BE REQUIRED DESIGNATING THAT DAMAGE TO CITY PROPERTY IS NEGLIGIBLE OR NON-EXISTENT.
- 14. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF EMPLOYEES ON THE PROJECT AND SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF FEDERAL. STATE, AND MUNICIPAL SAFETY LAWS AND BUILDING CODES. THE CONTRACTOR SHALL ERECT AND PROPERLY MAINTAIN, AT ALL TIMES, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR PROTECTION OF WORKERS AND THE PUBLIC; SHALL POST DANGER SIGNS WARNING AGAINST KNOWN OR UNUSUAL HAZARDS: AND SHALL DESIGNATE A RESPONSIBLE MEMBER OF THEIR ORGANIZATION ON THE CONSTRUCTION SITE WHOSE DUTY SHALL BE THE PREVENTION OF ACCIDENTS.
- 15. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL SIGNS AND DEVICES AS SET FORTH ON THE TRAFFIC CONTROL PLANS PROVIDED WITH THE CONTRACT DRAWINGS OR SUBMIT ALTERNATE TRAFFIC CONTROL PLANS IN ACCORDANCE WITH SECTION 1-10.2(2) OF THE WSDOT STANDARD SPECIFICATIONS. FOR FURTHER NOTES REFERENCE THE LYNNWOOD STANDARD TRAFFIC CONTROL NOTES. 16. IF THE PROJECT IS TIED TO FEDERAL FUNDING REQUIRING THE STEEL BUY AMERICA ACT. ALL STEEL COMPONENTS SHALL MEET THE BUY AMERICA REQUIREMENTS. SUBMIT INFORMATION TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO MATERIAL ORDER.
- 16. AVOID LOCATING STRUCTURES IN THE PEDESTRIAN PATH OF TRAVEL. IF STRUCTURES ARE REQUIRED TO BE LOCATED IN THE PEDESTRIAN PATH OF TRAVEL DUE TO EXISTING CONSTRAINTS, THE STRUCTURES MUST ADHERE TO PROWAG SURFACE REQUIREMENTS. SURFACE OF LIDS OR GRATES MUST BE FIRM, STABLE, AND SLIP RESISTANT (PROWAG R302.7). RIM OF STRUCTURE SHALL BE FLUSH WITH SURROUNDING GRADE. LEVEL CHANGES BETWEEN SURFACES MUST NOT EXCEED 1/4" OR 1/2" WITH A 1:2 BEVEL (PROWAG R302.7.2). GAPS BETWEEN SURFACES OR GRATINGS MAY NOT EXCEED 1/2" (PROWAG R302.7.3). NO LIDS ARE ALLOWED IN CURB RAMPS

STANDARD GRADING NOTES

SPECIFICATIONS

- 1. GRADING SHALL NOT RESULT IN ANY ADDITIONAL WATER RUNOFF TO ADJOINING PROPERTY. IF ADDITIONAL WATER RUNOFF DOES RESULT, THE APPLICANT WILL SUBMIT A PLAN OF CORRECTIVE ACTION FOR CITY OF LYNNWOOD (CITY) APPROVAL AND WILL COMMENCE WITH THAT ACTION IMMEDIATELY UPON NOTICE FROM THE CITY.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING EXISTING IMPROVEMENTS. AS REQUIRED. UNTIL CONSTRUCTION IS APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT. 3. THE CITY SHALL VERIFY AND APPROVE ALL BACKFILL TRENCHES AND ROADWAY SUBGRADE PRIOR TO PAVING. THE CITY WILL BE PROVIDED WITH THE DENSITY REPORT FROM A CERTIFIED "TESTING LAB" SHOWING SATISFACTORY COMPACTION PER STANDARD SPECIFICATIONS 2-03.3(14)D. ALL SUBGRADE

PREPARATORY REQUIREMENTS SHALL CONFORM TO SECTION 2-06 OF THE STANDARD

- 4. THE MAXIMUM CUT/FILL SLOPE SHALL NOT EXCEED 2 FEET HORIZONTAL TO 1 FOOT VERTICAL, UNLESS OTHERWISE APPROVED BY THE CITY. AT NO TIME SHALL THE TOE OF ANY FILL SLOPE BE NEARER TO THE PROPERTY LINE THAN 1/2 THE FILL HEIGHT WITH A MINIMUM OF 2 FEET. CUT SLOPES SHALL NOT BE NEARER TO A PROPERTY LINE THAN 1/5 THE HEIGHT OF THE CUT WITH A
- MINIMUM OF 2 FEET. 5. FREQUENCY OF TRENCH COMPACTION TESTING
- A) HORIZONTALLY: A MINIMUM OF TWO LOCATIONS EVERY 200 FEET OF TRENCH, OR A MINIMUM OF TWO LOCATIONS PER DAY, WHICHEVER IS MORE FREQUENT SHALL APPLY. ADDITIONAL TESTS MAY BE REQUIRED WHEN VARIATIONS OCCUR DUE TO THE CONTRACTOR'S OPERATIONS, WEATHER CONDITIONS,

B) VERTICAL TESTING SHALL USE THE DEEPEST PORTION OF THE TRENCH LINE TO DETERMINE MINIMUM TESTING DEPTHS AS FOLLOWS:

FOR TRENCHES 12-FEET AND UNDER, COMPLETE A MINIMUM OF ONE TEST AT APPROXIMATELY ONE HALF OF THE TRENCH DEPTH AND AN ADDITIONAL TEST AT OR NEAR THE SURFACE. FOR TRENCHES 12- TO 16-FEET-DEEP, COMPLETE TESTS AT APPROXIMATELY 4-FOOT INTERVALS ABOVE THE PIPE, ONE TEST AT OR NEAR THE SURFACE, AND ONE TEST APPROXIMATELY HALFWAY FOR TRENCHES GREATER THAN 16-FEET-DEEP; COMPLETE TESTS AT APPROXIMATELY FOUR-FOOT INTERVALS ABOVE THE PIPE TO THE SURFACE (FOUR TESTS REQUIRED) OR AS DIRECTED BY THE

C) STRUCTURED AREAS. SUCH AS AN EASEMENT NEAR A BUILDING. SHALL REQUIRE ADDITIONAL TESTING IN THE ZONE OF INFLUENCE FROM THE LICENSED GEOTECHNICAL CONSULTANT SUCH THAT THE COMPACTION SHALL NOT ADVERSELY AFFECT THE NEARBY OR SURROUNDING STRUCTURES. D) IF COMPACTION DOES NOT MEET THE MINIMUM STANDARDS REQUIRED, ADDITIONAL EXCAVATION AND TESTING AS DIRECTED BY THE CITY SHALL BE COMPLETED. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL TESTING IN AREAS THAT ARE QUESTIONABLE.

E) COMPACTION TESTING COSTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. COPIES OF ALL TESTING REPORTS SHALL BE PROVIDED TO THE CITY FOR VERIFICATION AND PROJECT RECORDS AND JURISDICTIONAL APPROVALS.

DATE

TESC STANDARD NOTES

- 1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- 2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED. AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
- 3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN (INCLUDING INDIVIDUAL TREES TO BE SAVED) SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- 4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED AS OUTLINED ON THE TYPICAL CONSTRUCTION SEQUENCE AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
- 5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED
- 6. CONSTRUCTION ACCESS TO THE SITE SHALL BE ONLY AS SHOWN ON THE APPROVED PLANS. ALL VEHICLES LEAVING THE SITE, ONTO PUBLIC RIGHTS-OF-WAY, SHALL BE CLEANED TO PREVENT "TRACKING" OF MUD, DIRT OR OTHER DEBRIS.
- 7. THE CONTRACTOR SHALL CLEAN ACCESS STREETS AND RIGHT—OF—WAY AT LEAST DAILY OR MORE FREQUENTLY AS MAY BE NECESSARY AND SO DIRECTED BY THE CITY OF LYNNWOOD (CITY). DO NOT
- ONE—THIRD OF THE AVAILABLE STORAGE. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- 9. STOCKPILES SHALL BE LOCATED IN SAFE AREAS AND ADEQUATELY PROTECTED BY TEMPORARY SECURED PLASTIC COVER, SEEDING OR MULCHING. HYDROSEEDING IS PREFERRED.
- 10. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 INCHES.
- WORK IS ANTICIPATED FOR A PERIOD OF 2 DAYS BETWEEN OCTOBER 1st TO MAY 31st OR 7 DAYS BETWEEN JUNE 1st TO SEPTEMBER 30th. SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC.).
- NECESSARY TO MINIMIZE EROSION. AREAS TO BE ROUGH GRADED WITH FINISHED GRADING TO GRASS. THIS ALSO INCLUDES PERIMETER DIKES AND THE SEDIMENT BASIN EMBANKMENT. HYDROSEEDING IS PREFERRED.
- PER THE APPROVED PLANS, CURRENT WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARDS AND SPECIFICATIONS AND THE CITY REQUIREMENTS.
- 14. ADDITIONAL BEST MANAGEMENT PRACTICES (BMP) MAY BE REQUIRED AT ANY TIME DURING CONSTRUCTION.

STORM DRAINAGE NOTES

- WASHINGTON (SWMMWW) FOR DEVELOPMENT REQUIREMENTS.
- 3. CONNECTIONS TO STORM CATCH BASINS AND MANHOLES SHALL BE SEALED WATERTIGHT WITH
- DEPARTMENT OF TRANSPORTATION (WSDOT) AND AMERICAN PUBLIC WORKS ASSOCIATION (APWA) STANDARDS AND SPECIFICATIONS AND/OR AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND
- TRENCH BACKFILL SHALL MEET THE REQUIREMENTS OF CITY STANDARD PLAN ST-TRE-3. 6. REFER TO WATER STANDARD DETAILS SPECIFIC TO THRUST RESTRAINT FOR ANY STORMWATER FORCE
- EXISTING MANHOLES, CATCH BASINS, OR INLETS SHALL BE ADJUSTED TO THE GRADE AS STAKED. OF CONSTRUCTION. ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND
- CITY PRIOR TO COMMENCING CONSTRUCTION. 8. ALL STORMWATER CATCH BASINS WITH A DEPTH OVER 5 FEET TO FLOW LINE, SHALL BE TYPE 2 STRUCTURES PER CURRENT WSDOT/APWA STANDARDS. ALL TYPE 1 AND 2 STRUCTURES SHALL BE PROVIDED WITH 3 LOCKING BOLTS. LADDER ACCESS IS REQUIRED ON ALL TYPE 2 STRUCTURES, WHEN 4 FEET OR GREATER IN DEPTH AS MEASURED TO THE INSIDE FINISH FLOOR, OR AS APPROVED BY THE CITY.
- 9. COMPACTION TESTING FOR TRENCHES SHALL BE PER GRADING STANDARD NOTES.
- 10. PROVIDE A 6-INCH STYROFOAM BLOCK BETWEEN INSTALLED STORMWATER PIPES AND ALL OTHER UTILITIES WITHIN 6 INCHES OF THE STORMWATER PIPE
- 11. ALL STORMWATER PIPES SHALL BE ABANDONED PER WSDOT 7-08.3(4). ALL STORMWATER CATCH BASINS AND MANHOLES SHALL BE ABANDONED PER WSDOT 7-05.3(2).
- 12. DEVELOPER TO PROVIDE A CERTIFIED ELECTRONIC VIDEO RECORD OF STORM DRAINAGE
- 13. DRAINAGE OUTLETS (STUB-OUTS) SHALL BE PROVIDED FOR EACH INDIVIDUAL LOT, UNLESS DIRECTED BY THE CITY DEPARTMENT OF PUBLIC WORKS:
- INTENDED USE.
- CONVEYANCE SYSTEM, OR AN APPROVED OUTFALL LOCATION. C) OUTLETS ON EACH LOT SHALL BE LOCATED WITH A PRESSURE TREATED TWO-BY-FOUR. EACH MARKER BOARD SHALL BE CLEARLY IDENTIFIABLE, PROTECTED AND STUBBED 5 FEET ABOVE THE FINISH GRADE.
- TO THE APPROVED PLANS AND/OR CURRENT WSDOT/APWA STANDARDS AND SPECIFICATIONS. IS NOT ALLOWED. ALL SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE ENGINEER AND CITY DIRECTOR OF PUBLIC WORKS, PRIOR TO CONSTRUCTION.

INSPECTOR. TRACER TAPE IS NOT AN ACCEPTABLE ALTERNATIVE TO TRACER WIRE. SEE DETAIL ST-TRE-3 FOR WIRE AND TAPE REQUIREMENTS.

G) THE APPLICANT/CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB-OUT CONVEYANCE LINES WITH RESPECT TO THE UTILITIES (E.G., POWER, GAS, TELEPHONE,

- 14. FOR RESIDENTIAL STORMWATER DESIGN DETAILS REFER TO THE LATEST EDITION OF THE SWMMWW:
- C) V-5 INFILTRATION BMPS
- D) V-6 FILTRATION BMPS

FIRE GENERAL NOTES

- APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES,

- STORM EVENTS.
- CONVEY STREET DEBRIS INTO THE STORM SYSTEM.
- 8. CLEAN OR REMOVE AND REPLACE INLET PROTECTION DEVICES WHEN SEDIMENT HAS FILLED
- 11. ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS, WHERE NO FURTHER
- 12. VEGETATION SHALL BE ESTABLISHED ON AREAS DISTURBED OR ON AREAS OF CONSTRUCTION AS FOLLOW NEAR PROJECT COMPLETION ARE TO BE SEEDED WITH ANNUAL, PERENNIAL OR HYBRID RYE
- 13. IMMEDIATELY FOLLOWING FINISH GRADING, PERMANENT VEGETATION WILL BE APPLIED AS APPROVED

- 1. REFER TO THE LATEST EDITION OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN
- 2. ALL REQUIRED STORM WATER RETENTION/DETENTION FACILITIES SHALL BE CONSTRUCTED AND OPERABLE PRIOR TO PAVING AND BUILDING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE
- CITY OF LYNNWOOD (CITY) DEPARTMENT OF PUBLIC WORKS.
- NON-SHRINK GROUT OR KOR-N-SEAL® TYPE CONNECTIONS. 4. ALL PIPES WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MEET CURRENT WASHINGTON STATE
- SHALL BE INSTALLED PER WSDOT SECTION 7-08.
- WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER OR DIRECTOR OF PUBLIC WORKS, THE ALL PIPE AND STRUCTURES SHALL BE STAKED FOR SURVEY LINE AND GRADE PRIOR TO THE START

- CONSTRUCTION AFTER FINAL CLEANING; FINAL CLEANING AS REQUIRED PER WSDOT SPECIFICATIONS
- 7-04.3(1) AND AS DIRECTED BY THE CITY PUBLIC WORKS INSPECTOR. OTHERWISE APPROVED BY THE CITY. STUB-OUTS SHALL CONFORM TO THE FOLLOWING AND AS
- A) EACH OUTLET SHALL BE SUITABLY LOCATED AT THE LOWEST ELEVATION ON THE LOT, SO AS TO SERVICE ALL FUTURE ROOF DOWNSPOUTS AND FOOTING DRAINS, DRIVEWAYS, YARD DRAINS, AND ANY OTHER SURFACE OR SUBSURFACE DRAINS NECESSARY TO RENDER THE LOTS SUITABLE FOR THEIR
- B) EACH OUTLET SHALL HAVE FREE FLOWING, POSITIVE DRAINAGE TO AN APPROVED STORM WATER
- D) ALL PIPE MATERIAL SHALL BE MINIMUM 4" IN SIZE WITH A SMOOTH WALL INTERIOR AND CONFORM MATERIAL SHALL BE CORRUGATED POLYETHYLENE OR POLYVINYL CHLORIDE. CORRUGATED METAL PIPE
- E) A 12-GAUGE TRACER WIRE SHALL BE INSTALLED AS REQUIRED BY THE CITY PUBLIC WORKS F) DRAINAGE EASEMENTS ARE REQUIRED FOR DRAINAGE SYSTEMS DESIGNED TO CONVEY FLOWS
- THROUGH INDIVIDUAL LOTS. VERIFICATION AND APPROVAL ARE REQUIRED PRIOR TO CONSTRUCTION. TELEVISION).
- H) ALL INDIVIDUAL STUB-OUTS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT HOMFOWNFR.
- A) V-3 DISPERSION BEST MANAGEMENT PRACTICE (BMP)
- B) V-4 ROOF DOWNSPOUT BMPS

- 1. FIRE DEPARTMENT CONNECTIONS (REFERENCE STANDARD DETAIL F-4) A. SHALL BE INSTALLED REMOTE FROM THE BUILDING OR AS APPROVED BY THE FIRE CODE OFFICIAL. B. LOCATED OUTSIDE ALL PEDESTRIAN PATHS OF TRAVEL, WITH MINIMUM 6-INCH CLEARANCE FROM FDGE OF PATH TO RISER C. LOCATED OUT OF THE COLLAPSE ZONE, OR AS APPROVED BY THE FIRE CODE OFFICIAL. D. IN AN APPROVED LOCATION ALONG A PUBLIC STREET OR FIRE APPARATUS ACCESS ROAD.
- E. INTERNATIONAL FIRE CODE (IFC) 912.2.1 VISIBLE LOCATION: FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF BUILDINGS OR FACING APPROVED FIRE APPARATUS ACCESS ROADS, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET, FIRE APPARATUS ACCESS ROAD OR NEAREST POINT OF FIRE DEPARTMENT VEHICLE ACCESS OR AS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL.
- F. LOCATED WITHIN 50 FEET OF A FIRE HYDRANT. G. IFC 912.4 ACCESS: IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER FIXED OR MOVEABLE OBJECT. ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE APPROVED BY THE
- FIRE CODE OFFICIAL H. SHALL BE EQUIPPED WITH A 4-INCH STORZ ADAPTER AND A 30/120 DEGREE DOWNTURN.
- I. BE PAINTED RED AND LABELED WITH THE BUILDING ADDRESS. J. PARTIAL SYSTEMS SHALL INDICATE THE AREA COVERED BY THE SYSTEM.
- K. BE PROVIDED WITH ADDITIONAL SIGNAGE AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13. L. ALL EXISTING 2-1/2-INCH "Y" FITTINGS WILL BE UPGRADED UPON BUILDING IMPROVEMENTS TO THE
- STORZ TYPE CONNECTION. M. IFC 912.2.2: WHEREVER THE FIRE DEPARTMENT CONNECTION IS NOT VISIBLE TO APPROACHING FIRE APPARATUS, THE FIRE DEPARTMENT CONNECTION SHALL BE INDICATED BY AN APPROVED SIGN MOUNTED ON THE STREET FRONT OR ON THE SIDE OF THE BUILDING. SUCH SIGN SHALL HAVE THE LETTERS "FDC" AT LEAST 6 INCHES (152 MM) HIGH AND WORDS IN LETTERS AT LEAST 2 INCHES (51 MM) HIGH OR AN ARROW TO INDICATE THE LOCATION. ALL SUCH SIGNS SHALL BE SUBJECT TO THE APPROVAL OF THE FIRE CODE OFFICIAL.
- N. IFC 912.2 LOCATION: WITH RESPECT TO HYDRANTS, DRIVEWAYS, BUILDINGS AND LANDSCAPING, FIRE DEPARTMENT CONNECTIONS SHALL BE SO LOCATED THAT FIRE APPARATUS AND HOSE CONNECTED TO SUPPLY THE SYSTEM WILL NOT OBSTRUCT ACCESS TO THE BUILDINGS FOR OTHER FIRE APPARATUS. THE LOCATION OF FIRE DEPARTMENT CONNECTIONS SHALL BE APPROVED BY THE FIRE CODE OFFICIAL
- O. IFC 912.4.2 CLEAR SPACE AROUND CONNECTIONS: A WORKING SPACE OF NOT LESS THAN 36 INCHES (914 MM) IN WIDTH, 36 INCHES (914 MM) IN DEPTH AND 78 INCHES (1,981 MM) IN HEIGHT SHALL BE PROVIDED AND MAINTAINED IN FRONT OF AND TO THE SIDES OF WALL-MOUNTED FIRE DEPARTMENT CONNECTIONS AND AROUND THE CIRCUMFERENCE OF FREE-STANDING FIRE DEPARTMENT CONNECTIONS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED BY THE FIRE CODE
- WITH SECTION 312 OF IFC 912.4.3. SEE STANDARD DETAIL F-2. Q. IFC 912.5 SIGNS: A METAL SIGN WITH RAISED LETTERS NOT LESS THAN 1 INCH (25 MM) IN SIZE SHALL BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLERS, STANDPIPES OR FIRE PUMP CONNECTIONS. SUCH SIGNS SHALL READ: "AUTOMATIC SPRINKLERS" OR "STANDPIPES" OR "TEST CONNECTION" OR A COMBINATION THEREOF AS APPLICABLE. WHERE

P. IFC 912.4.3 PHYSICAL PROTECTION: WHERE FIRE DEPARTMENT CONNECTIONS ARE SUBJECT TO

IMPACT BY A MOTOR VEHICLE, VEHICLE IMPACT PROTECTION SHALL BE PROVIDED IN ACCORDANCE

- THE FIRE DEPARTMENT CONNECTION DOES NOT SERVE THE ENTIRE BUILDING, A SIGN SHALL BE PROVIDED INDICATING THE PORTIONS OF THE BUILDING SERVED. 2. FIRE ACCESS ROADS
- A. DETAILED PLANS MUST BE SUBMITTED, AND APPROVED, PRIOR TO PAINTING ANY NEW FIRE LANE OR MODIFYING ANY EXISTING FIRE LANE. B. DIMENSIONS: MINIMUM 20 FEET WIDE OR MINIMUM 26 FEET WIDE IN THE VICINITY OF ANY BUILDING 30 FEET IN HEIGHT ABOVE GRADE. MINIMUM VERTICAL CLEARANCE OF 13 FEET, 6 INCHES. MINIMUM TURNING RADIUS: 25 FEET INSIDE, 45 FEET OUTSIDE.
- C. LOCATION: REQUIRED 26 FEET WIDE ROADS MUST BE A MINIMUM OF 15 FEET AND A MAXIMUM OF 30 FEET FROM THE BUILDING. PROVIDE ACCESS TO WITHIN 50 FEET OF THE FRONT OF ANY MULTI-FAMILY RESIDENTIAL BUILDING AND PROVIDE ACCESS TO WITHIN 150 FEET OF ANY PORTION OF ANY BUILDING. PROVIDE ACCESS TO ALL ON-SITE FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS (FDC). A HYDRANT IS REQUIRED WITH 50 FEET OF ANY FIRE DEPARTMENT CONNECTION (FDC) AND MUST BE NOT BLOCK ACCESS WHEN CONNECTED. D. ADDITIONAL REQUIREMENTS: BE CIRCULATING OR HAVE AN APPROVED TURN—AROUND IF OVER 150
- E. BE PAVED WITH ASPHALT OR APPROVED EQUIVALENT. F. BE CAPABLE OF SUPPORTING THE IMPOSED LOADS APPARATUS. 75.000 POUNDS GROSS VEHICLE WEIGHT (GVW), 45,000 POUNDS POINT LOAD. G. BE MARKED WITH WORDS "FIRE LANE — NO PARKING". WORDS TO BE PAINTED ON THE PAVEMENT WITH LETTERS A MINIMUM 12 INCHES HIGH AND YELLOW IN COLOR. AS AN ALTERNATIVE, THE CURB

FEET (REFERENCE STANDARD DETAIL F-5), HAVE GRADES OF 14 PERCENT OR LESS; GRADES

GREATER THAN 12 PERCENT REQUIRES ADDITIONAL FIRE PROTECTION FEATURES.

- MAY BE PAINTED YELLOW IN COLOR WITH THE WORDS "FIRE LANE NO PARKING PAINTED IN BLACK WITH A MINIMUM 1/2-INCH STROKE AND 3 INCHES HIGH. H. HAVE PERIMETER STRIPING/CURBING TO DELINEATE THE BOUNDARIES OF THE FIRE LANE. STRIPING TO BE A MINIMUM OF 4 INCHES WIDE AND STRIPING/CURBING TO BE YELLOW IN COLOR AND
- ALTERNATELY SPACED EVERY 25 FEET. I. WHEN APPROVED BY THE FIRE CODE OFFICIAL. SIGNS MAY BE USED IN ADDITION TO OR IN LIEU OF PAINTING THE PAVEMENT. SIGNS, WHEN APPROVED, SHALL MEET THE FOLLOWING REQUIREMENTS: i. SIZE: 18 INCHES HIGH BY 12 INCHES WIDE (MINIMUM).
- ii. MOUNTING: BOTTOM OF SIGN 48 INCHES TO 60 INCHES ABOVE GRADE. iii. STYLE: INDUSTRY STANDARD (VULCAN R7-6-9, RAINBOW 01-527, EMED TC 18816 OR EQUIVALENT).
- iv. COLOR: RED LETTERING ON WHITE BACKGROUND. v. SPACING: 50 FEET BETWEEN SIGNS OR AS DIRECTED BY THE FIRE CODE OFFICIAL. J. FIRE LANE STANDARDS FOR CITY CENTER ZONES DIFFER FROM THE ABOVE; PLEASE CONTACT THE

SEWER STANDARD NOTES

FIRE MARSHAL'S OFFICE FOR ADDITIONAL INFORMATION

- 1. ALL SANITARY SEWER PIPE, MATERIALS, AND MANHOLES SHALL CONFORM WITH CURRENT APPLICABLE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARDS AND SPECIFICATIONS, CITY OF LYNNWOOD (CITY) STANDARD PLANS AND PLAN NOTES, SPECIFICATIONS, ANY CONDITIONS OF APPROVAL AND AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL ENGINEER OF RECORD TO CORRECT ANY ERROR, OMISSIONS, OR VARIATION FROM
- THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE CITY. . TRENCH BACKFILL FOR SANITARY SEWERS SHALL BE IN ACCORDANCE WITH CITY STANDARD PLAN
- ST-TRE-3. COMPACTION TESTING FOR TRENCHES SHALL BE PER GRADING STANDARD NOTES. 4. ALL SIDE SEWERS SHALL BE INSTALLED PER SECTION 7-18 OF THE MOST CURRENT EDITION OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION.
- 5. REFER TO WATER STANDARD DETAILS SPECIFIC TO THRUST RESTRAINT FOR ANY SEWER FORCE 6. SEWER MAINS SHALL BE PVC. PIPE THAT IS 6-INCH DIAMETER OR LESS SHALL BE STANDARD DIMENSION RATIO (SDR) 35. PIPE 8-INCH DIAMETER AND LARGER SHALL BE SDR 26. ALL FITTINGS
- SHALL BE EQUIVALENT OR STRONGER SDR RATING. 7. ALL SIDE SEWERS SHALL BE INSTALLED AS FOLLOWS: A) A 1.5 PERCENT MINIMUM UNIFORM GRADE. B) LAY SPACE OF 2 FEET BETWEEN BENDS, OR AS APPROVED BY THE CITY INSPECTOR.
- C) ALL FIELD BENDS NOT TO EXCEED 2 INCHES PER FOOT DEFLECTION. D) CLEANING AND TESTING PER SECTION 7-17.3(2) OF THE WSDOT STANDARD SPECIFICATIONS. E) A 12-GAUGE TRACER WIRE SHALL BE INSTALLED AS REQUIRED BY THE CITY PUBLIC WORKS INSPECTOR. TRACER TAPE IS NOT AN ACCEPTABLE ALTERNATIVE TO TRACER WIRE. SEE DETAIL
- ST-TRE-3 FOR WIRE AND TAPE REQUIREMENTS. F) ALL COUPLERS, FITTINGS, ADAPTERS, AND CONNECTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE PUBLIC WORKS INSPECTOR. 8. ALL VERTICAL AND HORIZONTAL CONTROL FOR CONSTRUCTION STAKING SHALL BE PERFORMED UNDER
- THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR OR ENGINEER. ALL CONSTRUCTION STAKING SHALL BE INSTALLED AND VERIFIED FOR GRADE AND ALIGNMENT PRIOR TO THE START OF CONSTRUCTION.
- ALL CONNECTIONS TO A NEW OR EXISTING SEWER LINE SHALL BE PERFORMED IN A MANNER THAT WILL PREVENT ANY FOREIGN MATERIALS FROM ENTERING EXISTING SEWERS. 10. CONNECTIONS TO SEWER MANHOLES SHALL BE SEALED WITH NON-SHRINK GROUT OR KOR-N-SEAL®
- TYPE CONNECTIONS. 11. SEPTIC SYSTEMS SHALL BE DESIGNED BY A LICENSED SEPTIC DESIGNER OR LICENSED PROFESSIONAL

SEWER STANDARD NOTES CONTD

- 12. DECOMMISSIONING SEPTIC SYSTEMS SHALL INCLUDE THE EXISTING SEPTIC MOUND SYSTEM. SEPTIC TANKS, ELECTRICAL, PUMPS, AND PIPES PER SNOHOMISH COUNTY, AND WASHINGTON STATE BUILDING REQUIREMENTS. THIS INCLUDES ABANDONING SEPTIC TANKS PER WASHINGTON ADMINISTRATIVE CODE (WAC) 246-272A-0300. ELECTRICAL WIRING AND APPURTENANCES SHALL BE REMOVED. OPEN ENDS
- OF PIPES AND CONDUITS SHALL BE CAPPED OR PLUGGED WITH NON-SHRINK GROUT. 13. ALL ABANDONED SEWER PIPES SHALL BE COMPLETELY FILLED WITH CONTROLLED DENSITY FILL. ALL SEWER MANHOLES SHALL BE ABANDONED PER WSDOT 7-05.3(2).
- 14. SUBMIT AN ELECTRONIC VIDEO RECORD OF ALL NEWLY CONSTRÚCTED 8 INCH AND LARGER SEWER MAINS TO THE CITY FOR REVIEW AND APPROVAL. ACCEPTANCE OF THE SEWER MAIN IS SUBJECT TO CITY STAFF REVIEW AND APPROVAL OF THE VIDEO.

TEMPORARY TRENCH PATCHING NOTES

- 1. IF TRENCH WORK IS COMPLETED IN A SINGLE DAY, IT MUST BE BACKFILLED AND SURFACE RESTORED PER APPLICABLE UTILITY PLAN UNLESS APPROVED BY CITY PUBLIC WORKS. IF TRENCH WORK GOES
- OVER A DAY, STEEL PLATING IS REQUIRED, REFERENCE CITY STANDARD PLAN ST—TRE—6. 2. ALL DIMENSIONS BASED ON STABLE TRENCH, STABILITY TO BE DETERMINED BY DESIGN ENGINEER. 3. PLATES SHALL BE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) A36 MIN. STEEL, FINAL YIELD (FY) EQUALS 36 KIPS PER SQUARE INCH (KSI). PLATES MUST BE CAPABLE OF WITHSTANDING, AT MINIMUM, AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO)
- HS-20 LOADING 4. PLATES SHALL REQUIRE ANCHORAGE REGARDLESS OF SLOPE OR SPEED. FLANGES OR ANGLE IRONS MUST BE WELDED TO THE PLATE UNDERSIDE CONFORMING TO THE SIZE OF THE STREET OPENING TO ENSURE THE PLATE DOES NOT MOVE RELATIVE TO THE OPENING.
- 5. PLATES MUST BE PLACED WITH POSITIVE CONTACT ON ALL SUPPORTING SURFACES TO PREVENT ACCIDENTAL MOVEMENT FROM TRAFFIC DEFLECTION (COLD PATCH CAN BE USED TO DISPLACE ANY VOIDS BETWEEN PLATE AND SUPPORTING SURFACE).
- 6. IN GENERAL, WHERE A STEEL PLATE COVERS AN ÉXCAVATION OR OPENING, THE CONTRACTOR MUST ENSURE THE STEEL PLATE WITHSTANDS THE TRAFFIC LOADING, REMAINS IN PLACE OVER THE OPENING, DOES NOT ROCK, DOES NOT GENERATE NOISE, AND IS FULLY SUPPORTED FOR THE LENGTH OF TIME THE PLATE IS IN-PLACE.

7. WHERE SPANS ARE EXCESSIVELY LONG OR WHERE MULTIPLE STEEL PLATES ARE REQUIRED TO COVER

- A LONG SPAN, ADEQUATE ADDITIONAL SUPPORT BENEATH THE PLATES MUST BE PROVIDED, SUCH AS BRACED STEEL BEAMS. THE SPACE BETWEEN THE STEEL BEAM AND THE PLATE MUST BE COVERED WITH A MATERIAL, SUCH AS AN OLD CARPET, TO PREVENT RATTLING AND NOISE. 8. ALL STEEL PLATES MUST BE BEDDED ON TEMPORARY PAVEMENT PATCH MATERIAL OR OTHER SUITABLE MATERIAL THAT EXTENDS BEYOND THE PLATE'S EDGE TO FORM A TAPERED TRANSITION
- PLATE AT LEAST 18 INCHES IN LENGTH TO ACCOMMODATE WHEELCHAIR, BICYCLE, AND OTHER 9. SAFETY ORANGE PAINT (FEDERAL STANDARD 595 COLOR 595 FS 12246 OR APPROVED EQUAL) MUST BE USED FOR: A. HIGHLIGHTING THE EDGES OF ALL PLATES, 12-INCH MINIMUM WIDTH.

B. HIGHLIGHTING ALL TAPERED TRANSITION SHIMS WITH PAINT STRIPES APPROXIMATELY 2 INCHES

(SHIM). THE TAPER MUST PROVIDE A SMOOTH, GRADUAL TRANSITION BETWEEN PAVEMENT AND THE

- WIDE ON 16-INCH CENTERS. 10. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR MUST USE STEEL PINS WELDED AT THE CORNERS OF THE PLATE. WHEN PINS ARE USED, HOLES MUST BE DRILLED THROUGH AN OPENING IN THE PLATE FULL DEPTH INTO UNDERLYING PAVEMENT STRUCTURE. THE PINS MUST BE LONG ENOUGH TO BE DRIVEN FULL DEPTH OF PAVEMENT AND BE OF CROSS—SECTION TO BE SNUG IN THE HOLES. THE PIN HEAD MUST BE OF SUFFICIENT AREA AND MASS TO ALLOW FOR WELDING THE PIN TO THE PLATE WITH SUFFICIENT STRENGTH OF WELD ENSURING THE PIN DOES NOT POP UP, COME LOOSE, OR
- SEPARATE FROM THE PLATE AT ANY TIME. 11. STEEL PLATES MUST HAVE A PERMANENT NON-SKID SURFACE IN BOTH DRY AND WET CONDITIONS AND MUST SUPPLY EVEN COVERAGE ACROSS THE PLATE. SWEEP ABRASIVE BLAST SURFACES TO BE COATED TO PROVIDE A 2 MIL PROFILE. NON-SKID SURFACE SHALL BE APPLIED IN THE SHOP BEFORE DELIVERY TO THE FIELD. MATERIAL SHALL BE AS FOLLOWS:
- PRIMER: TNEMEC SERIES N69F EPOXOLINE ONE COAT, 4.0 TO 6.0 MIL DFT. NON-SKID: BROADCAST DRY WASHED SILICA SAND 50-60 MESH INTO WET PRIME COAT. LET DRY AND REMOVE EXCESS SAND.
- FINISH: TNEMEC SERIES 73 OR 1095 ENDURASHIELD ONE COAT, 3.0 TO 5.0 MIL DFT. OR PRIMER: SHERWIN WILLIAMS MACROPOXY 646 ONE COAT, 4.0 TO 6.0 MIL DFT. NON-SKID: BROADCAST DRY WASHED SILICA SAND 50-60 MESH INTO WET PRIME COAT. LET
- DRY AND REMOVE EXCESS SAND. • FINISH: SHERWIN WILLIAMS ACROLON 218 HS ONE COAT, 3.0 TO 5.0 MIL DFT

WATER STANDARD NOTES

- 1. ALL WATER MAINS SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARD SPECIFICATIONS FOR ROAD. BRIDGE AND MUNICIPAL CONSTRUCTION (STANDARD SPECIFICATIONS). NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 24 AND THE CITY OF LYNNWOOD (CITY) REQUIREMENTS. ALL PRESSURE TESTING SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY. ALL MAINS SHALL BE STERILIZED AND FLUSHED PRIOR TO PLACING LINES INTO SERVICE. THE MAIN SHALL BE INSPECTED BY THE CITY PUBLIC WORKS INSPECTOR PRIOR TO BACKFILL. AN AS-BUILT COPY SHALL BE PROVIDED TO THE CITY PRIOR TO PUBLIC WORKS
- **ACCEPTANCE** 2. DUCTILE IRON PIPE SHALL BE NEW, CLASS 52, CEMENT-MORTAR LINED, CENTRIFUGALLY CAST PIPE CONFORMING TO THE REQUIREMENTS OF AMERICAN WATER WORKS ASSOCIATION (AWWA) C-151 AND STANDARD SPECIFICATIONS 9.30.1(1). NON RESTRAINED JOINTS SHALL BE RUBBER GASKET, PUSH ON TYPE, OR MECHANICAL TYPE MEETING THE REQUIREMENTS OF AWWA C111. RESTRAINED JOINTS SHALL BE AS SPECIFIED IN SECTION 9-30.2(6) OF STANDARD SPECIFICATIONS. ALL PIPE SHALL BE CLEARLY MARKED WITH THE MANUFACTURER'S NAME, TYPE, CLASS AND THICKNESS AS APPLICABLE.
- ALL FITTINGS SHALL BE PER STANDARD SPECIFICATION 9-30.2 AND 9-30.2(1). 3. CONCRETE THRUST BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, DEAD ENDS, CROSSES AND AS DESIGNATED BY THE PUBLIC WORKS DIRECTOR. REFERENCE CITY STANDARD PLANS U-WAT-11. U-WAT-12 AND U-WAT- 13. BLOCKING SHALL BE POURED IN PLACE AND CURED AGAINST APPROVED FORMS AND NATIVE CUT SLOPES. ALL BLOCKING SHALL BE INSPECTED AND APPROVED
- PRIOR TO BACK FILL. 4. FIRE HYDRANTS SHALL CONFORM TO 9-30.5 OF THE MOST CURRENT ADDITION OF THE STANDARD SPECIFICATIONS, AWWA C502, AWWA 110, AWWA C111, NFPA 24 AND APPLICABLE CITY SPECIFICATIONS AND STANDARDS. REFERENCE CITY STANDARD PLAN F-1.
- 5. WITHIN THE CITY RIGHT-OF-WAY AND ON PRIVATE PROPERTY, 2-INCH AND SMALLER WATER SERVICE(S) SHALL BE INSTALLED PER STANDARD SPECIFICATION 9-30.6, THE APPROVED PLANS AND CITY STANDARD PLANS U-WAT-1 AND U-WAT-2. ALL SERVICES, UNLESS SPECIFIED, SHALL BE INSTALLED BY A CITY-APPROVED CONTRACTOR AND AT THE DEVELOPER'S EXPENSE. ALL 3-INCH AND LARGER SERVICES ARE ALWAYS INSTALLED BY THE DEVELOPER AT NO EXPENSE TO THE CITY. THE 3-INCH AND LARGER SERVICES SHALL BE INSTALLED PER THE APPROVED PLANS, STANDARD SPECIFICATIONS AND CITY STANDARD 5-3. TAPS ON EXISTING MAINS SHALL BE DONE HOT UNLESS
- APPROVED BY THE CITY INSPECTOR. 6. A 12-GAUGE TRACER WIRE SHALL BE INSTALLED FOR ALL PLASTIC PIPE AS REQUIRED BY THE CITY PUBLIC WORKS INSPECTOR. TRACER TAPE IS NOT AN ACCEPTABLE ALTERNATIVE TO TRACER WIRE.
- SEE DETAIL ST-TRE-3 FOR WIRE AND TAPE REQUIREMENTS. 7. VALVE BOXES SHALL CONFORM TO WSDOT SPEC. 9-30.3(4) AND LYNNWOOD STANDARD PLAN
- IJ-WAT-14 TRENCH BACKFILL SHALL BE PLACED PER CITY STANDARD PLAN ST-TRE-3. 9. ALL WATER MAINS TO MAINTAIN A MINIMUM COVER OF 36 INCHES BELOW FINISH GRADE; 12 INCHES MINIMUM SEPARATION IS REQUIRED BETWEEN UTILITIES CROSSING PERPENDICULARLY, (18 INCHES FOR
- SANITARY SEWER). AT NO POINT SHOULD THESE DEPTHS EXCEED 6 FEET EXCEPT WHEN SPECIFICALLY APPROVED ON THE PLANS OR BY THE CITY PUBLIC WORKS INSPECTOR. 10. EXISTING WATER SERVICE LINES BETWEEN THE METER SETTER AND THE POINT OF CONNECTION THAT WILL BE REUSED FOR NEW CONSTRUCTION SHALL BE TYPE K COPPER PIPE OR AS APPROVED BY THE
- 11. ALL RETIRED WATER MAINS SHALL BE ABANDONED PER WSDOT 7-08.3(4). 12. ALL PIPE IS TO BE LAID AT TRUE LINE AND GRADE UNLESS OTHERWISE APPROVED BY THE CITY OF LYNNWOOD. AT NO TIME SHALL THE MAXIMUM PIPE DEFLECTION EXCEED THE MANUFACTURER'S REQUIREMENTS. THE MAXIMUM PERMISSIBLE DEFLECTION PER STICK IS AS FOLLOWS:
- <u>PIPE DIA.</u> MAX. DEFLECTION PER 18 FEET 4 INCHES
- 6 INCHES *19 INCHES* 8 INCHES 19 INCHES *10 INCHES 19 INCHES*
- 12 INCHES 19 INCHES 13. COMPACTION TESTING FOR TRENCHES SHALL BE PER GRADING STANDARD NOTES.

191ST ST SW DALE WAY 192ND PL SW 192ND PL SW -PROJECT SITE *193RD ST SW* 196TH ST SW 200TH ST SW

<u>VICINITY MAP</u> SCALE: 1" = 500'

BENCHMARK ON THE TOP OF THE SE ANCHOR BOLT OF THE TRAFFIC LIGHT STANDARD AT THE NW CORNER OF THE INTERSECTION OF 196TH STREET SW AND 64TH AVENUE W., CITY OF LYNNWOOD BENCHMARK, BM 75.

ELEVATION = 405.20'

DATUM = NGVD 1929

PROJECT INFORMATION

PARCEL NUMBERS: 27041700401400, 27041700401800 6425 196TH ST SW, LYNNWOOD, WA 98036 ADDRESS: LEGAL DESCRIPTION: SEC 17 TWP 27 RGE 04 RT-34E) W3/5

> #12837-001) SEC 17 TWP 27 RGE 04 RT-34C-1A) N 105.25FT OF E1/5 SE1/4 SW 1/4 SE1/4 LESS E 30FT (EXEMPT PER ST OF WA

NC NEIGHBORHOOD COMMERCIAL

GABBERT ARCHITECTS PLANNERS

20011 BALLINGER WAY NE #211

MIKE.G@GABBERTARCHITECTS.COM

SHORELINE. WA 98144

ROBISON ENGINEERING

LYNNWOOD. WA 98036

19401 40TH AVE W UNIT 302

JROBISON@ROBISONENGINEERING.COM

MIKE GARRETT

JON ROBISON

206-364-3343

206-367-3600

REG #12837-001)

OF E1/2 SE1/4 SW1/4 SE1/4 LESS ST HWY

VOL 26/309 (EXEMPT PER ST OF WA REG

3.16 ACRES (137,650 SQUARE FEET) SITE AREA:

SECTION TOWNSHIP RANGE: SE 17-27-04

<u>PROJECT TEAM</u> ROTARY CLUB OF LYNNWOOD SERVICE FOUNDATION

GRANT DULL

425-771-9349

OWNERS REPRESENTATION: GSG GROUP INC. 190 WEST DAYTON, SUITE 204 EDMONDS, WA 98020 GREG MUMMY

EDMONDS. WA 98026

GREG@GSGGROUP.NET <u>CIVIL:</u> HARBERT ENGINEERS 4620 200TH ST. SW, SUITE B LYNNWOOD, WA 98036 IISA HARRFRT 206-371-3079

LISAHARBERT@OUTLOOK.COM

L. GROSS STRUCTURAL ENG. 23914 56TH AVE W MOUNTLAKE TERRACE, WA 98043 RORYN MAH 425-640-7333 RMAH@ILGROSS.COM

REVISIONS



License/Seal

HARBERT ENGINEERS 4620 200TH ST. SW, SUITE B LYNNWOOD, WA 98036 PHONE: (206) 371-3079 LISAHARBERT@OUTLOOK.COM

GARDEN SENIOR VILLAGE ADDITION COVER SHEET

6425 196TH ST SW

SCALE: NTS DRAWN BY: CB

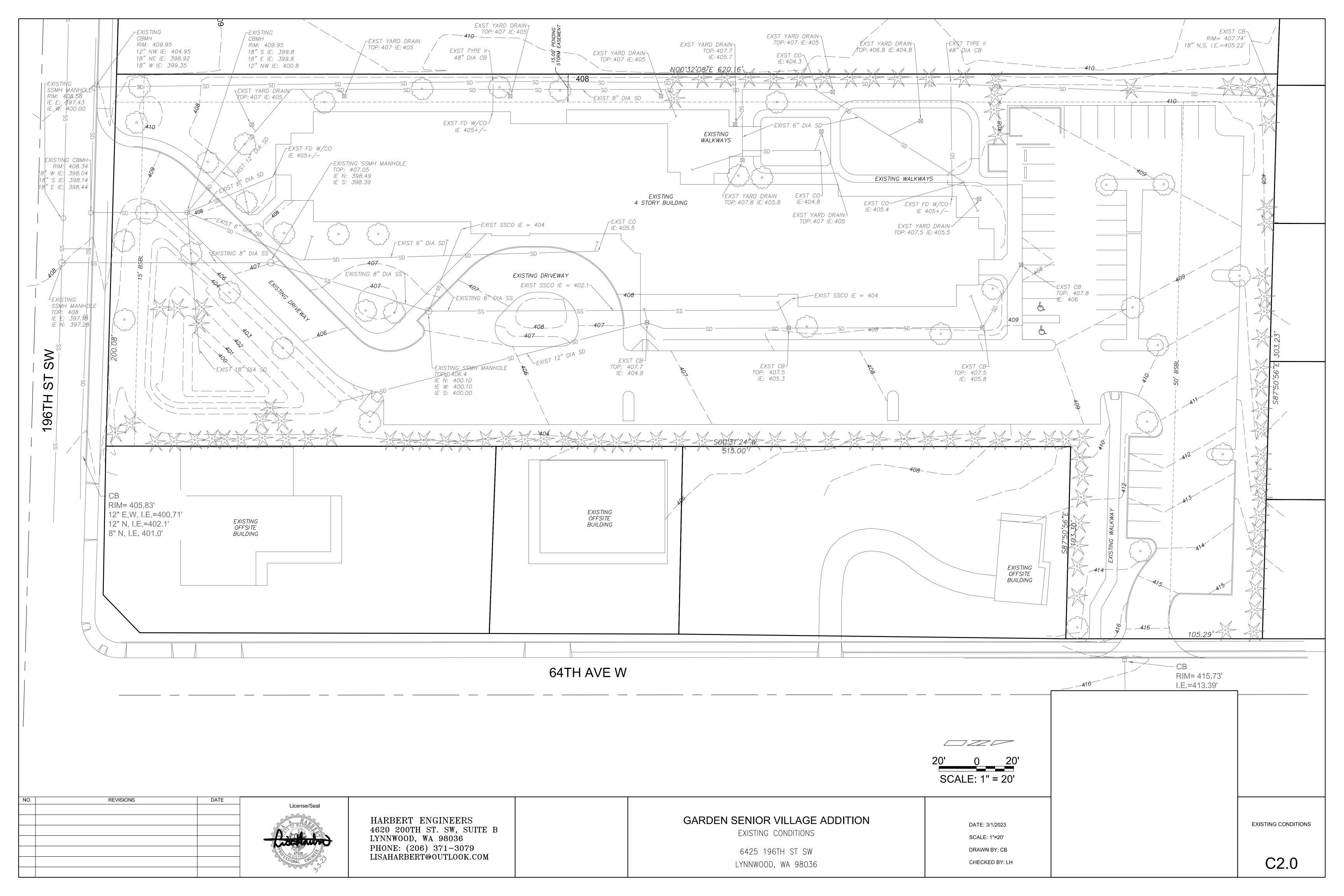
DATE: 3/1/2023

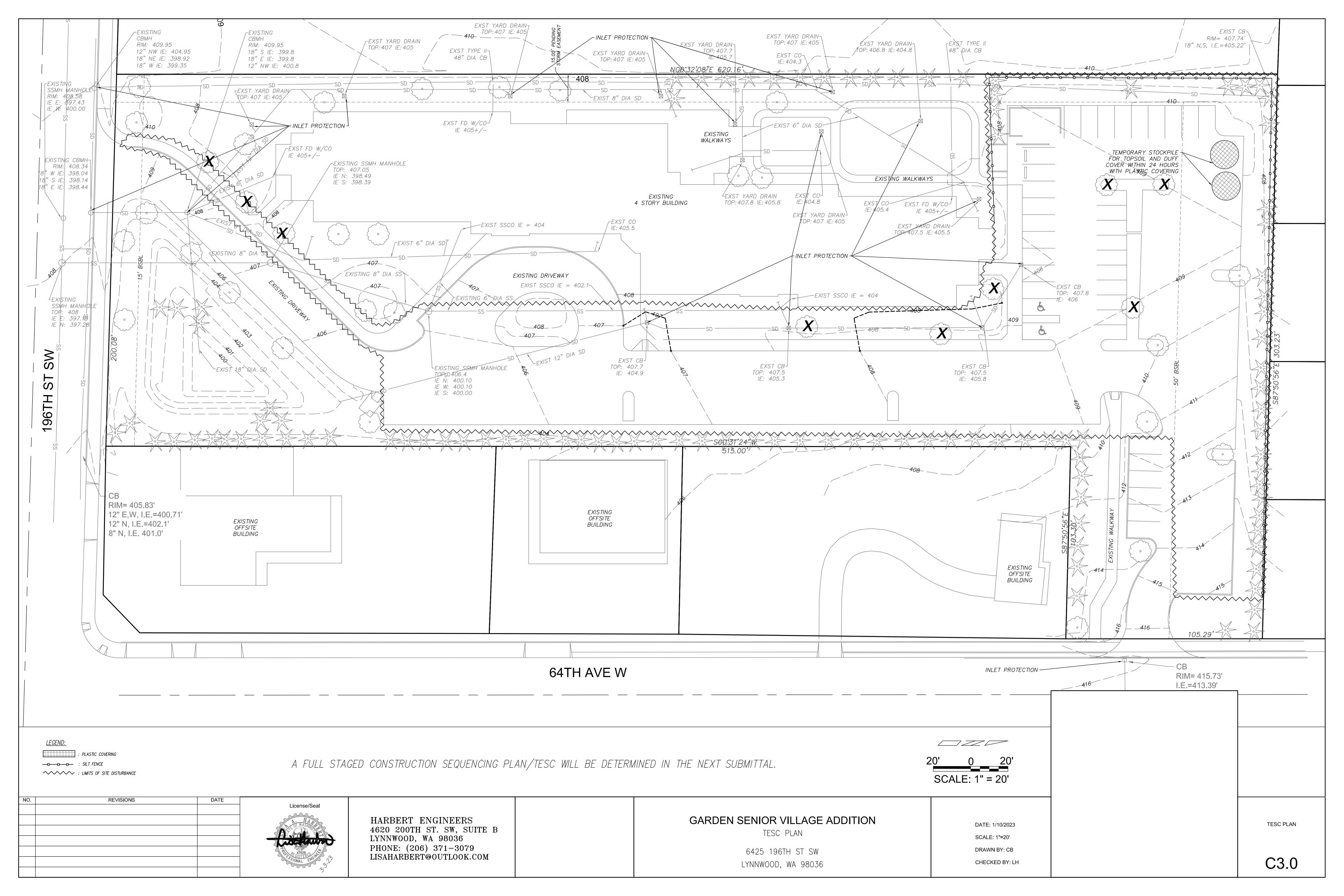
CHECKED BY: LH

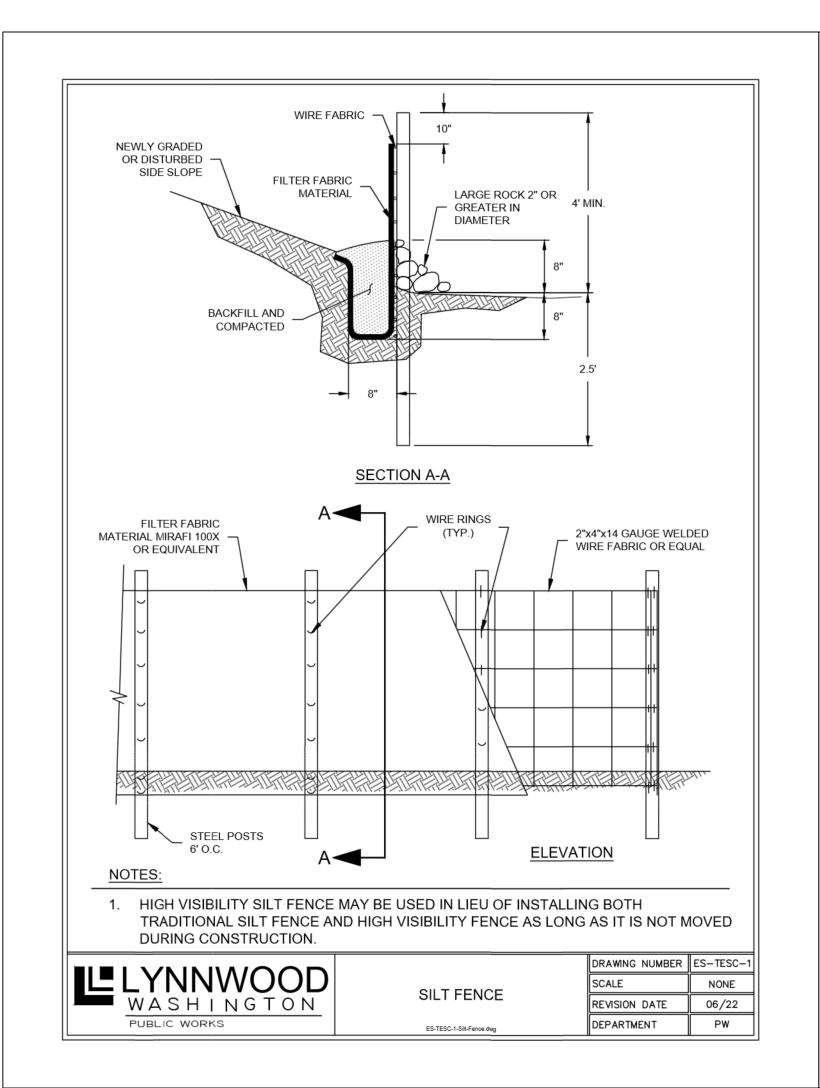
C1.0

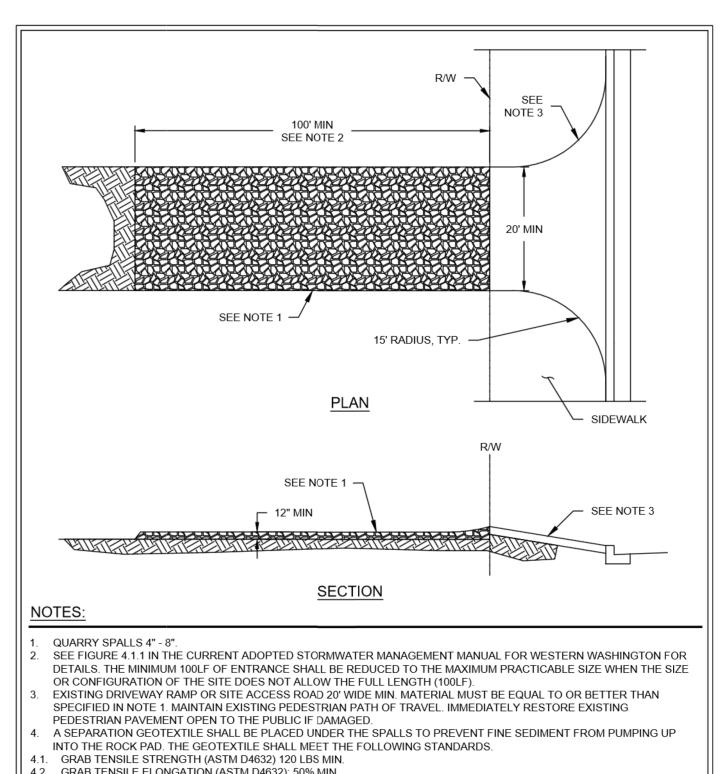
COVER SHEET

LYNNWOOD, WA 98036









4.2. GRAB TENSILE ELONGATION (ASTM D4632): 50% MIN.

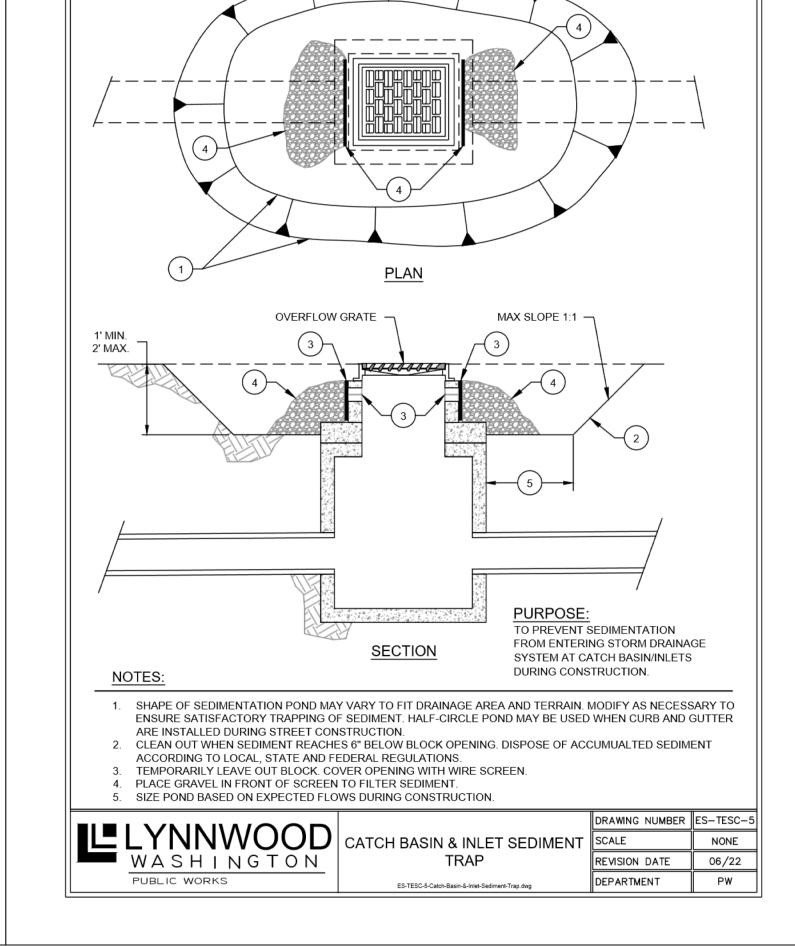
4.3. AOS (ASTM D4751): 70 (U.S. STANDARD SIEVE SIZE) DO NOT USE CRUSHED CONCRETE, CEMENT, OR CALCIUM CHLORIDE FOR CONSTRUCTION ENTRANCE STABILIZATION

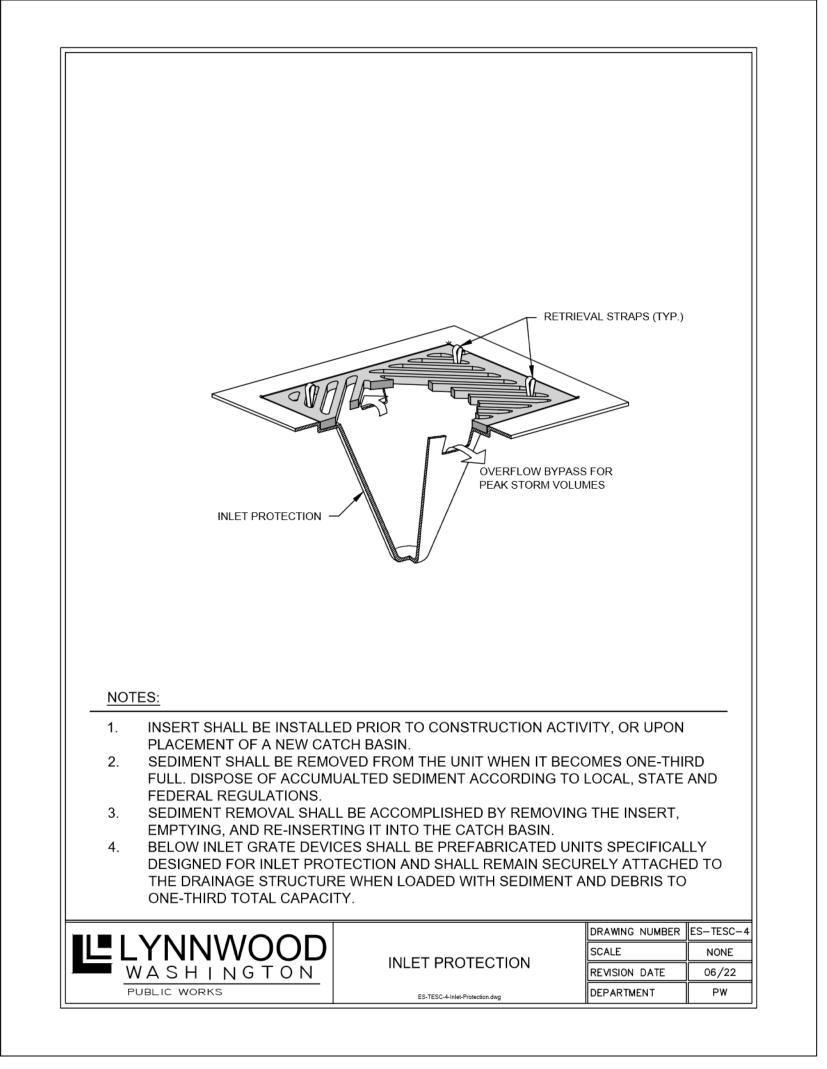
BECAUSE THESE PRODUCTS RAISE PH LEVELS IN STORMWATER. CONCRETE DISCHARGE TO SURFACE WATERS OF THE IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE

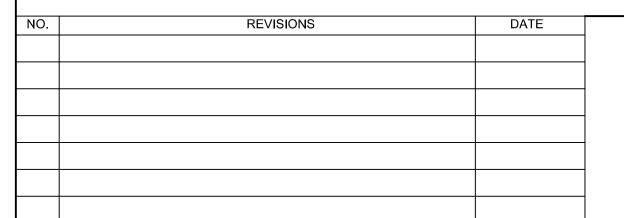
MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE REPLACEMENT/CLEANING OF THE EXISTING QUARRY SPALLS, STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH.



DRAWING NUMBER ES-TESC-2 TEMPORARY CONSTRUCTION **ENTRANCE** REVISION DATE 06/22 DEPARTMENT









HARBERT ENGINEERS 4620 200TH ST. SW, SUITE B LYNNWOOD, WA 98036 PHONE: (206) 371-3079 LISAHARBERT@OUTLOOK.COM

GARDEN SENIOR VILLAGE ADDITION

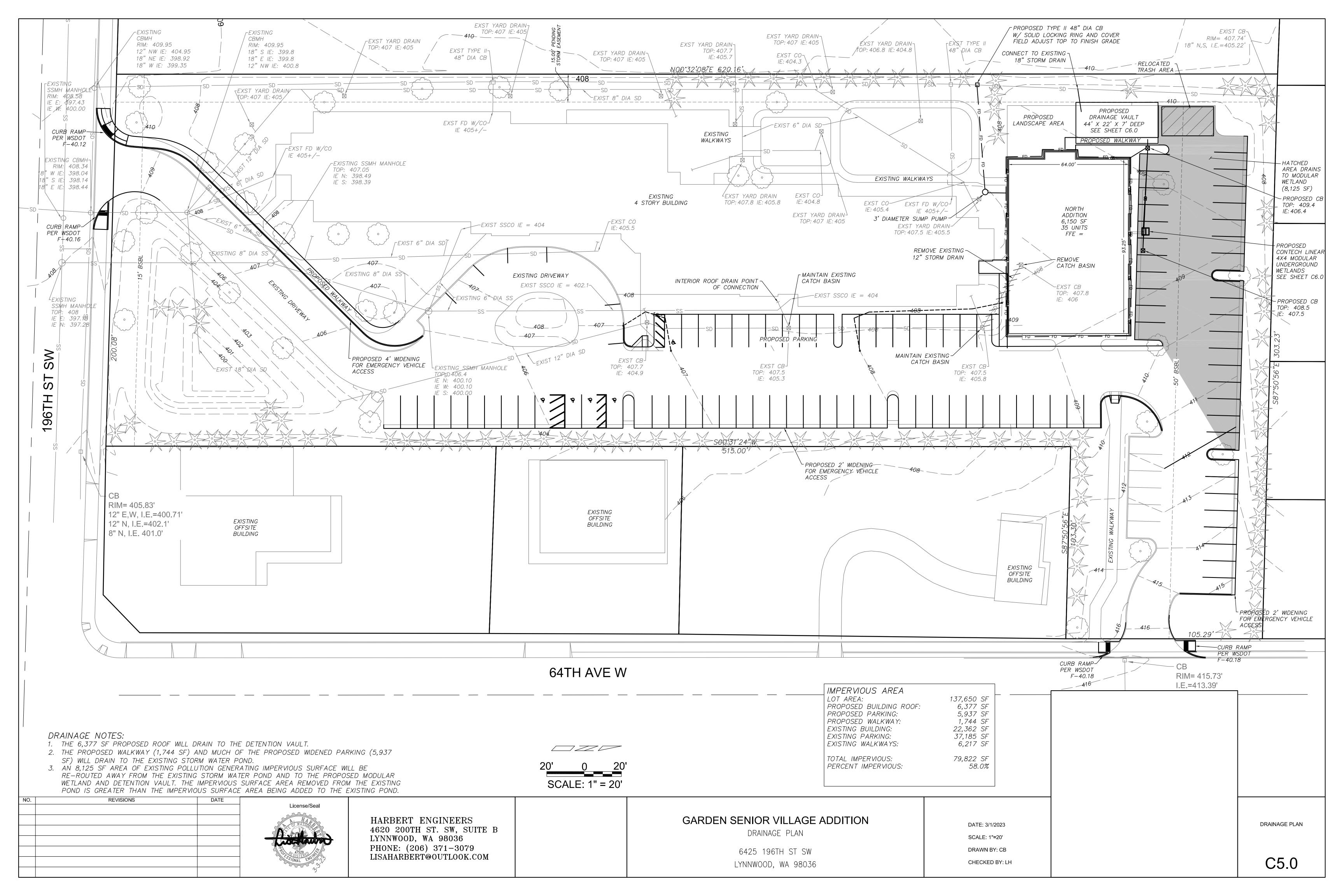
TESC DETAILS

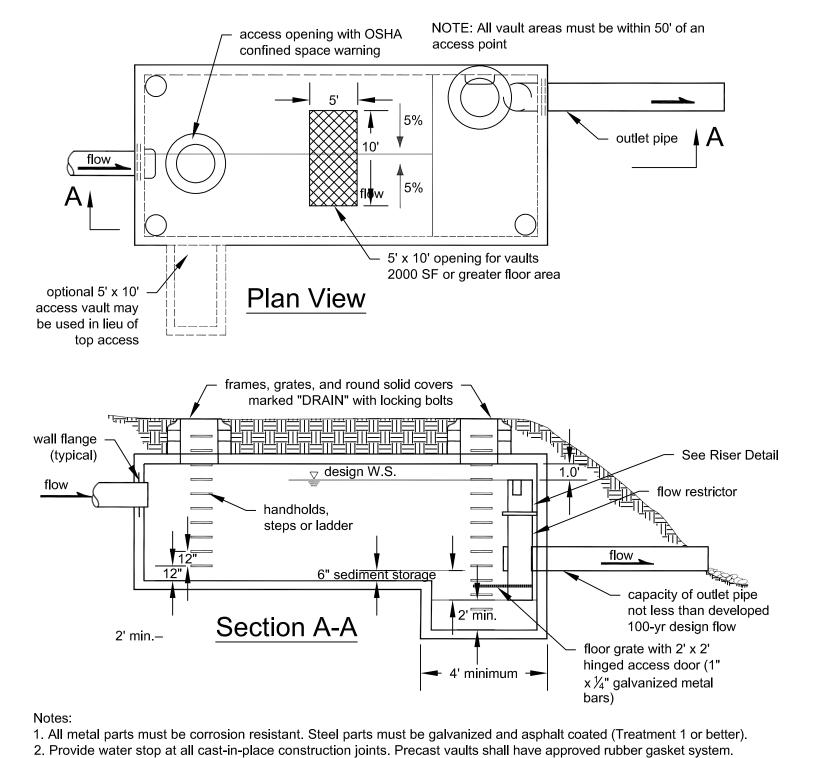
6425 196TH ST SW LYNNWOOD, WA 98036 DATE: 3/1/2023 SCALE: NTS

C4.0

TESC DETAILS

DRAWN BY: CB CHECKED BY: LH



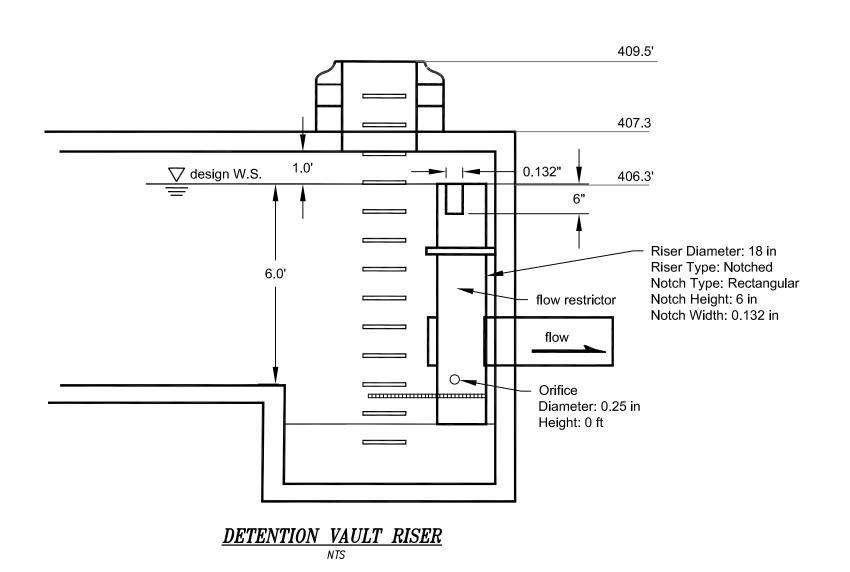


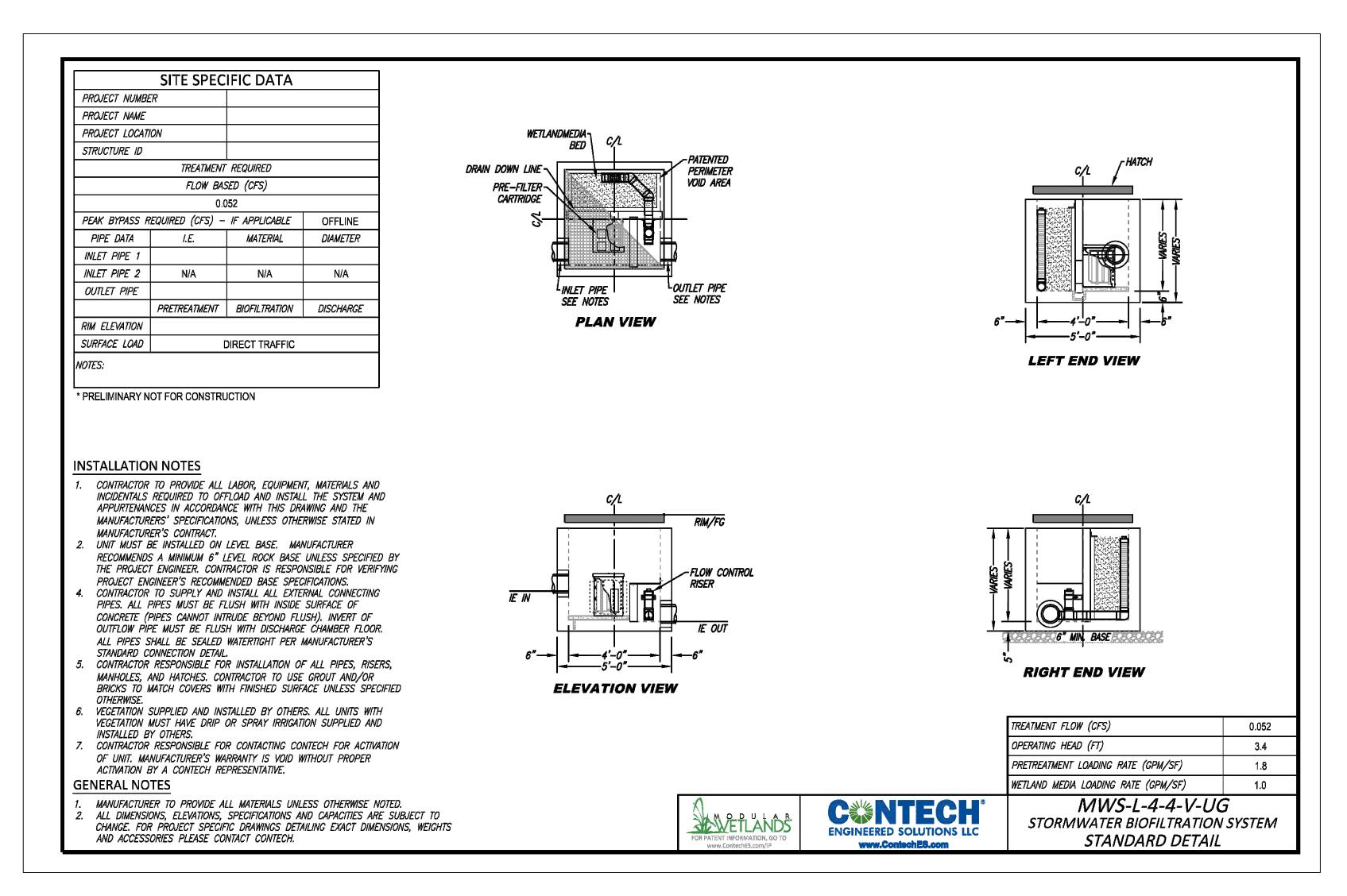
<u>DETENTION VAULT</u>

4. Prefabricated vault sections may require structural modifications to support 5' x 10' opening over main vault. Alternatively,

3. Vaults ≤ 10' wide must use removable lids.

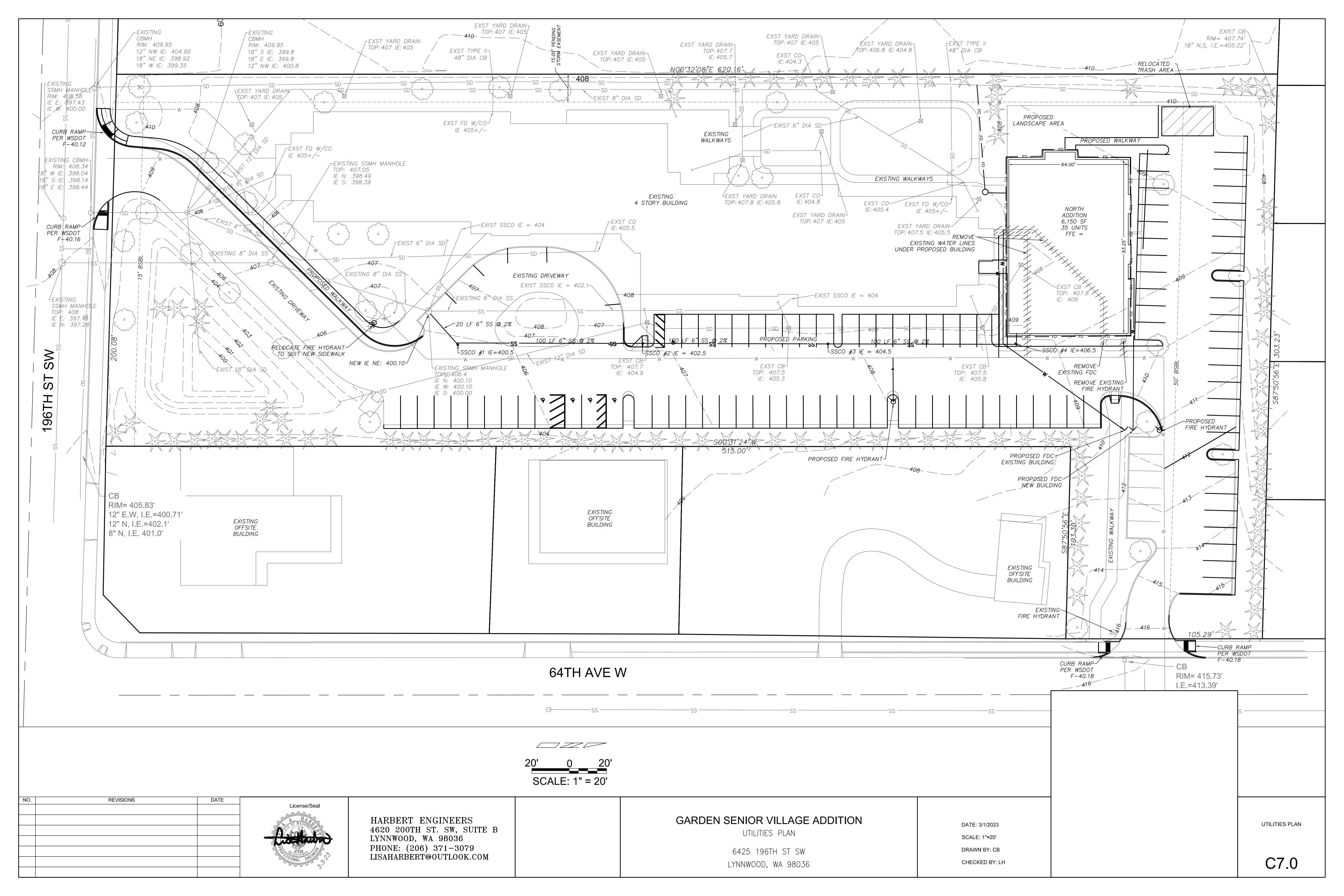
access can be provided via a side vestibule as shown.

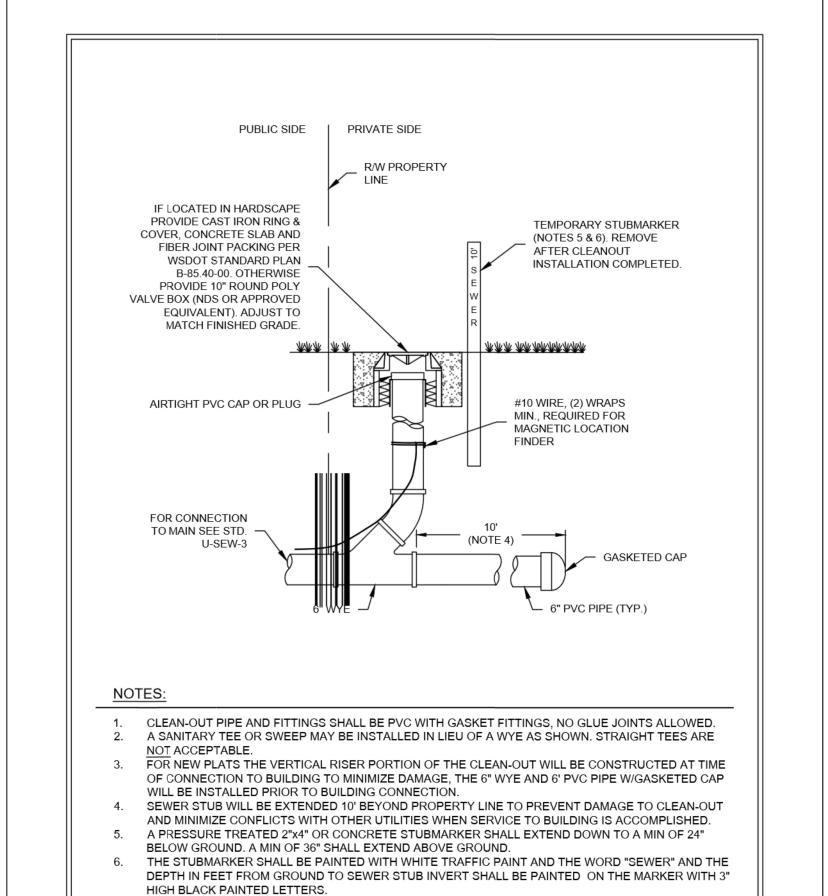




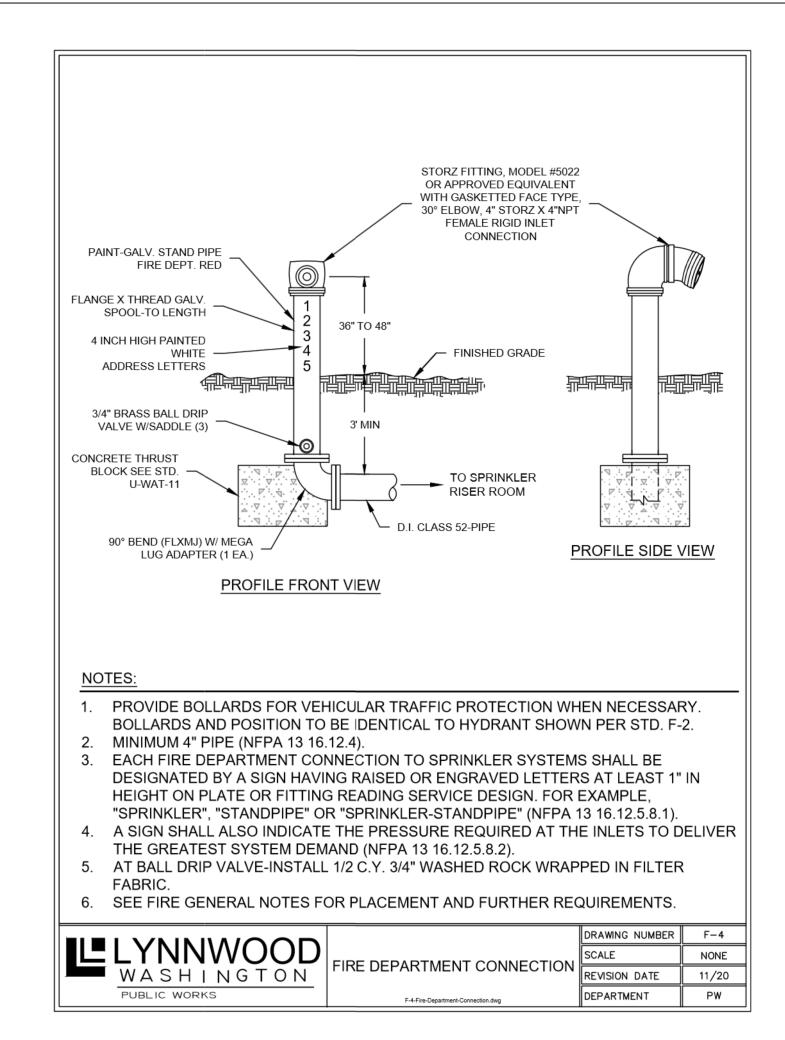
ENHANCED WATER QUALITY DETAIL

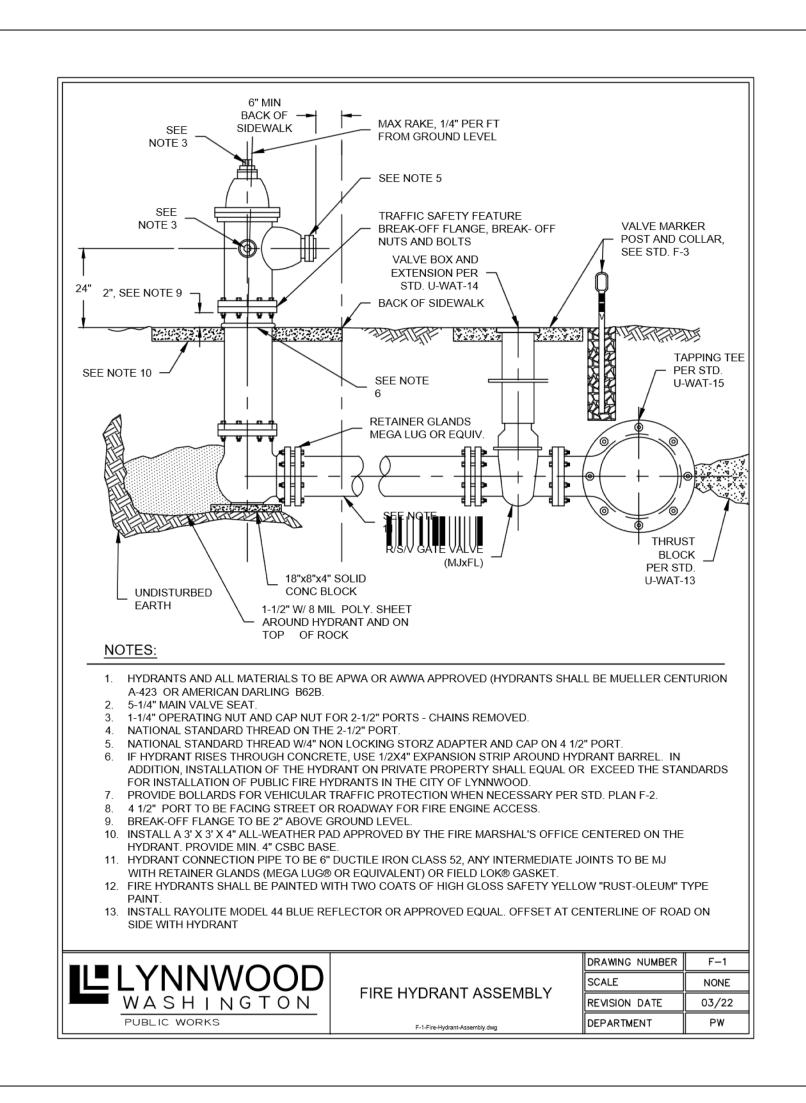


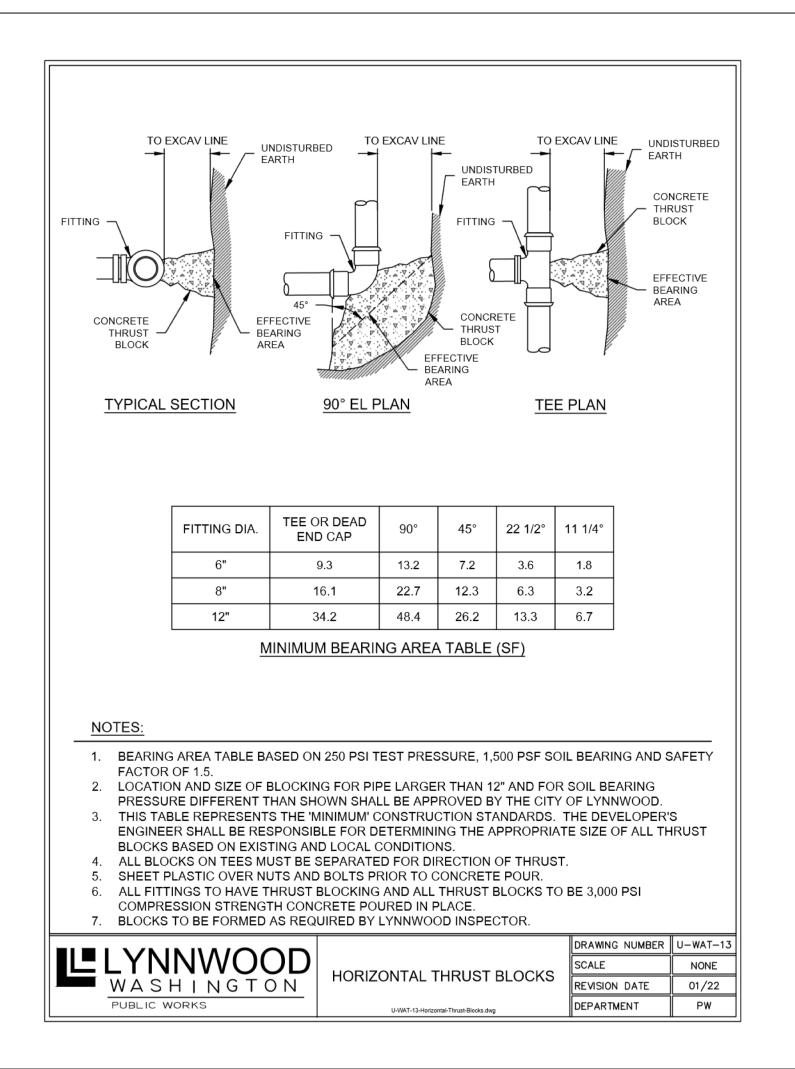


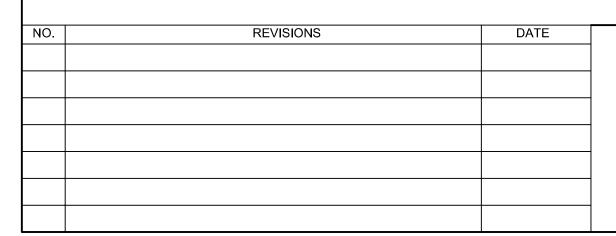


SEWER CLEANOUT









.YNNWOOD



DRAWING NUMBER U-SEW-4

REVISION DATE

DEPARTMENT

NONE

01/22

HARBERT ENGINEERS
4620 200TH ST. SW, SUITE B
LYNNWOOD, WA 98036
PHONE: (206) 371-3079
LISAHARBERT@OUTLOOK.COM

GARDEN SENIOR VILLAGE ADDITION
UTILITY DETAILS

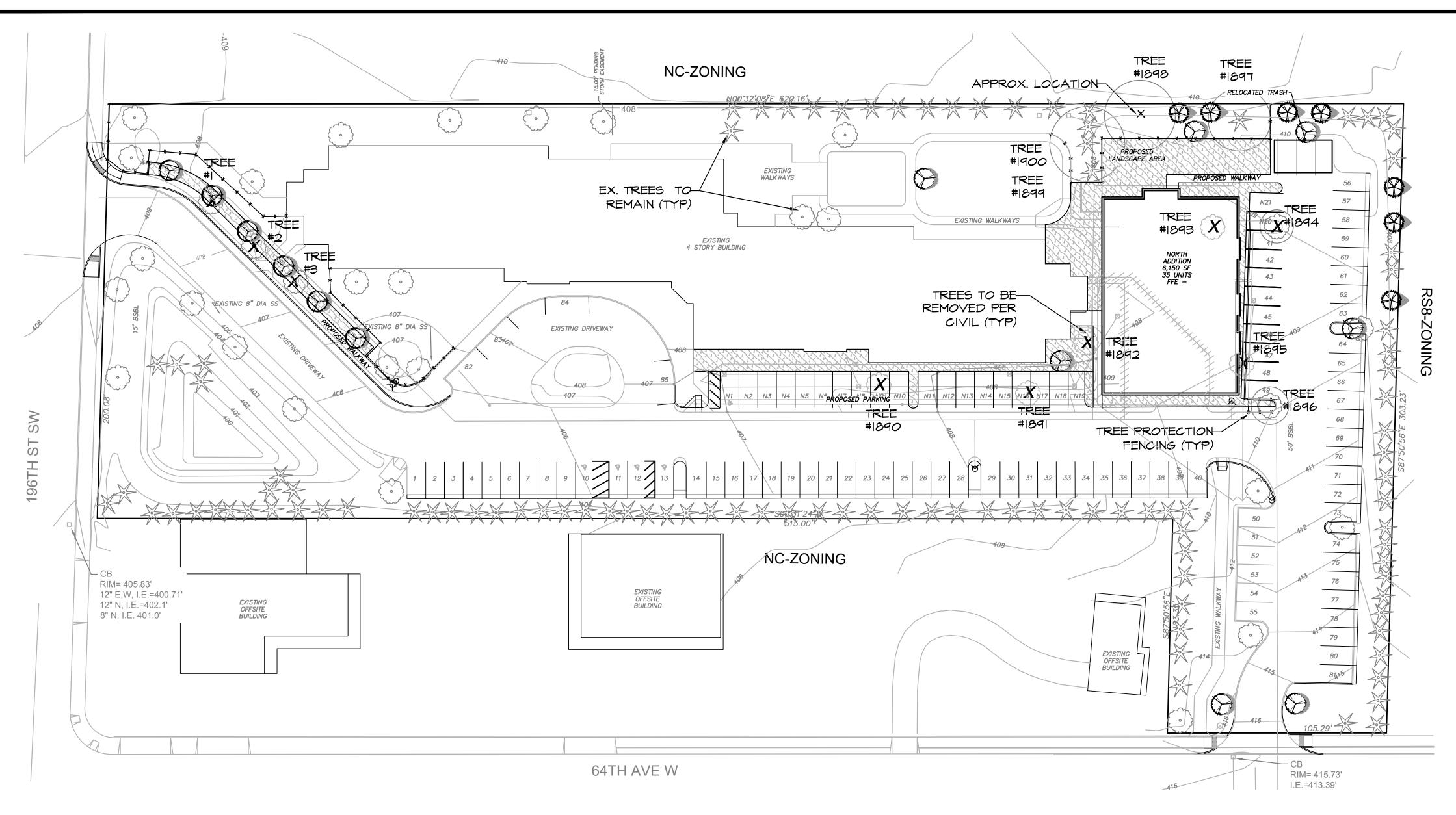
6/25 106TH ST S

6425 196TH ST SW LYNNWOOD, WA 98036 DATE: 3/1/2023 SCALE: NTS DRAWN BY: CB

CHECKED BY: LH

UTILITY DETAILS

C8.0



PLANT SCHEDULE

SHRUB AREAS BOTANICAL / COMMON NAME



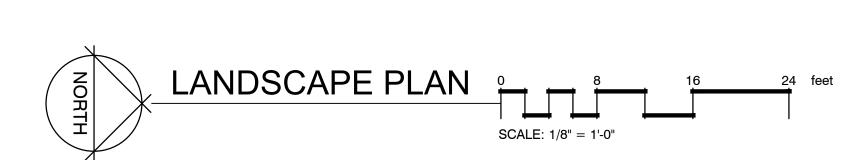
NEW OR REPAIRED LANDSCAPE AREA 6,365 sf

<u> QTY</u>

TREE INFORMATION OBTAINED BY ARBORIST REPORT

TREES					
TREE #	DSH	CRZ	REMOVE/RETAIN		
1890 RED MAPLE	13	13	REMOVE		
1891 RED MAPLE	12	12	REMOVE		
1892 RED MAPLE	14	14	REMOVE		
1893 RED MAPLE	8	8	REMOVE		
1894 RED MAPLE	8	8	REMOVE		
1895 SHORE PINE	14	14	REMOVE		
1896 RED MAPLE	9	9	RETAIN		
1897 WESTERN R. CEDAR	15	15	RETAIN		
1898 WESTERN R. CEDAR	17	17	RETAIN		
1899 LEYLAND CYPRESS	21	21	REMOVE		
1900 LEYLAND CYPRESS	18	18	RETAIN		

6 SIGNIFICANT TREES TO BE REMOVED AVERAGE DBH 12.9 = 2 TREE UNITS EACH 7 TREES X 2 TREE UNITS= 14 REPLACEMENT TREES REQUIRED



TREE INFO. TO BE OBTAINED BY ARBORIST REPORT ONCE UPDATED

TREES					
TREE #	DSH	CRZ	REMOVE/RETAIN		
I RED MAPLE	13	3	REMOVE		
2 RED MAPLE	13	13	REMOVE		
3 RED MAPLE	13	13	REMOVE		

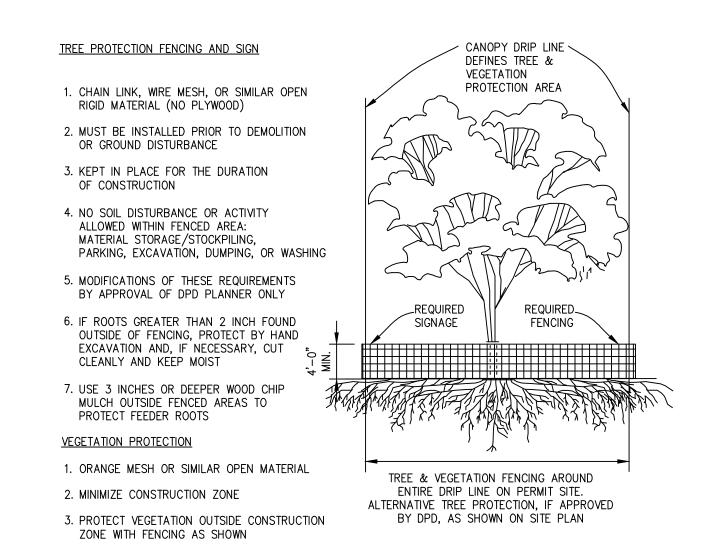
3 SIGNIFICANT TREES TO BE REMOVED APPROX. AVERAGE DBH 13 = 2 TREE UNITS EACH 3 TREES X 2 TREE UNITS = 6 REPLACEMENT TREES REQUIRED

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	<u>SIZE</u>	<u>aty</u>
	Acer rubrum 'Bowhall' / Bowhall Maple	2.5" Cal. min.	6
\otimes	Cercidiphyllum japonicum / Katsura Tree	2.5" Cal. min.	7
	Thuja plicata / Western Red Cedar	ව' Ht. min.	7

LANDSCAPE NOTES

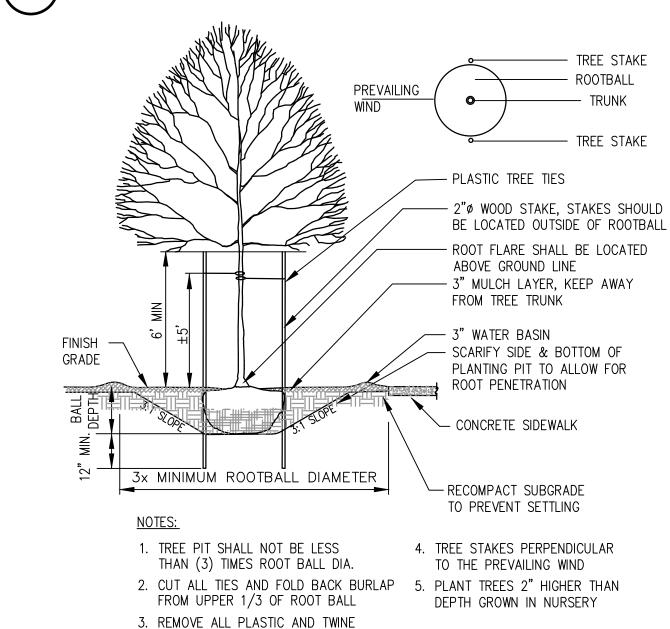
- CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK. 2. CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO PROMPTLY ADVISE OWNER OF ANY DISTURBED UTILITIES.
- LOCATION SERVICE PHONE 1-800-424-5555. 3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPUTING SPECIFIC QUANTITIES OF GROUND COVERS AND PLANT MATERIALS UTILIZING ON-CENTER SPACING FOR PLANTS AS STATED ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SPECIFIED BELOW IN
- THESE NOTES. 4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWINGS.
- 5. SUBGRADE IS TO BE WITHIN L'OF ONE FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL CONSTRUCTION MATERIAL AND ROCKS AND STICKS LARGER THAN 2" DIAMETER.
- 6. 6" DEPTH TOPSOIL IN BED AREAS AND 4" IN ALL LAWN AREAS. 2" DEPTH BARK IN ALL BED AREAS.
- 8. ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURER'S SPECIFICATIONS.
- 9. ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ANY REPLACEMENTS MADE AT ONCE.
- 9.A. GENERAL: ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VIGOROUS, WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- TREES, SHRUBS, AND GROUND COVER: QUANTITIES, SPECIES AND VARIETIES, SIZES AND CONDITIONS AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE HEALTHY, VIGOROUS, WELL FOLIATED WHEN IN LEAF. FREE OF DISEASE, INJURY, INSECTS DECAY, HARMFUL DEFECTS, AND ALL WEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
- 10. ALUMINUM EDGING, PERMALOC OR APPROVED EQUAL, TO BE INSTALLED BETWEEN BARK AND COBBLE



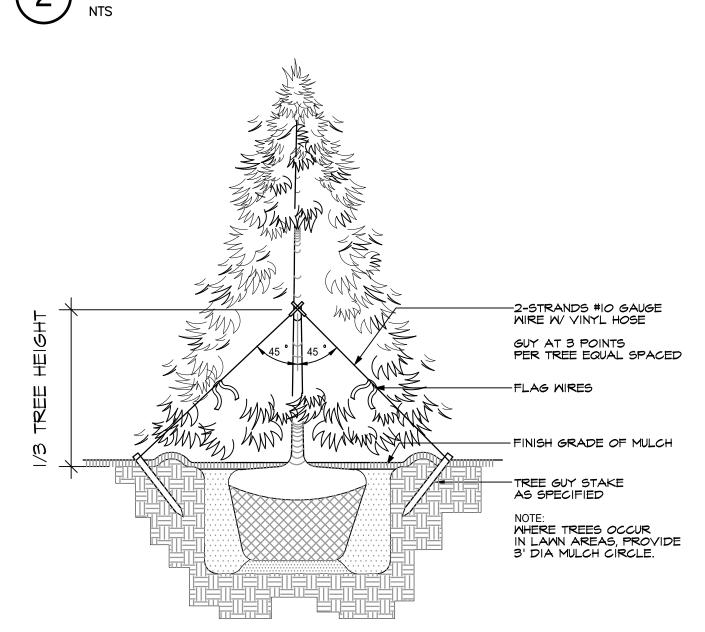
TREE & VEGETATION PROTECTION

4. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO

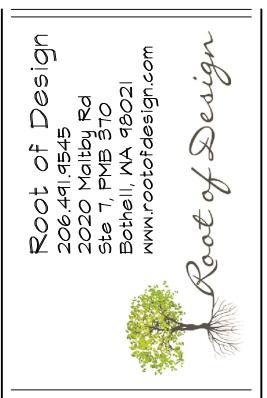
PROTECT FEEDER ROOTS



TYPICAL DECIDUOUS TREE PLANTING DETAIL



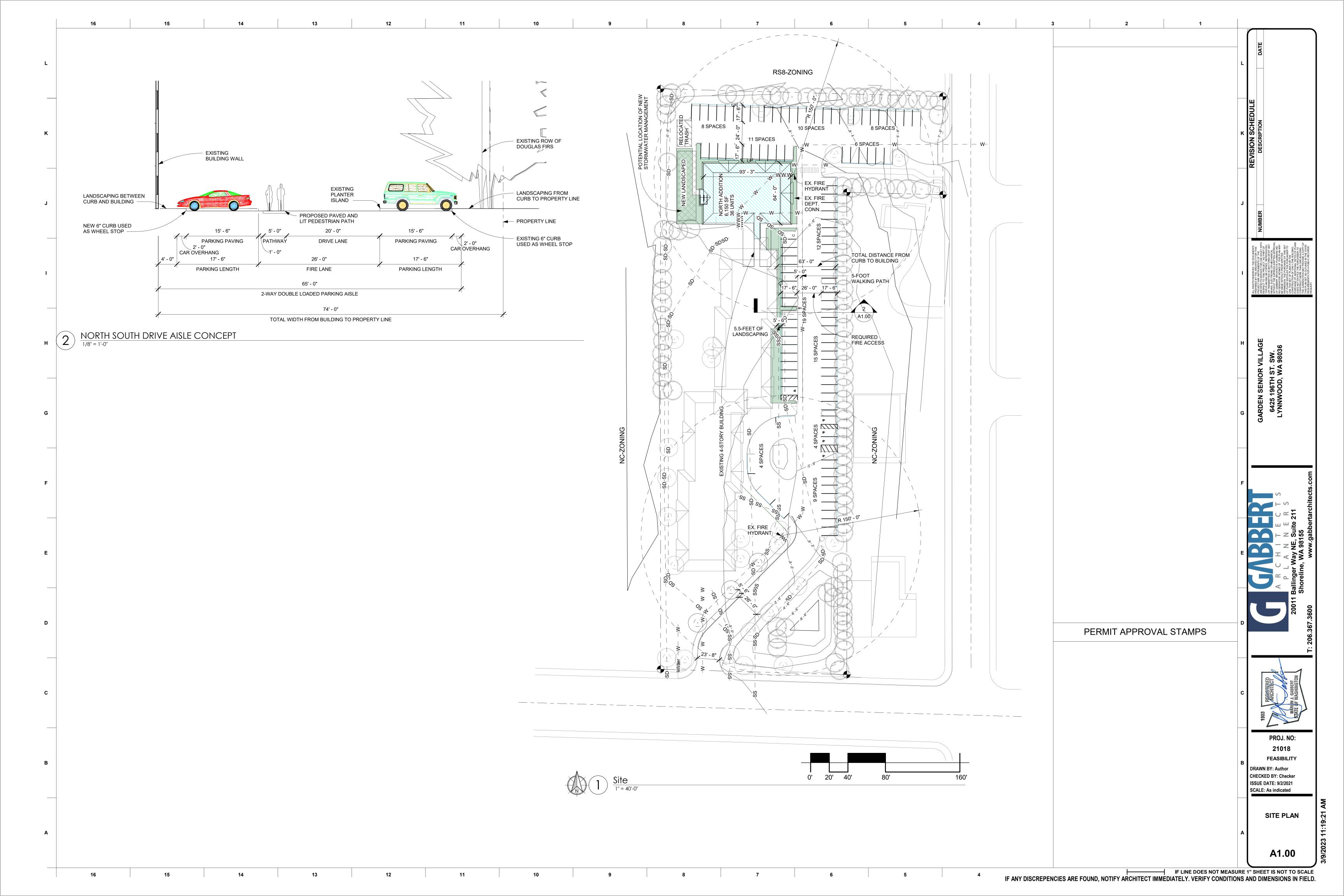
TYPICAL EVERGREEN TREE PLANTING DETAIL

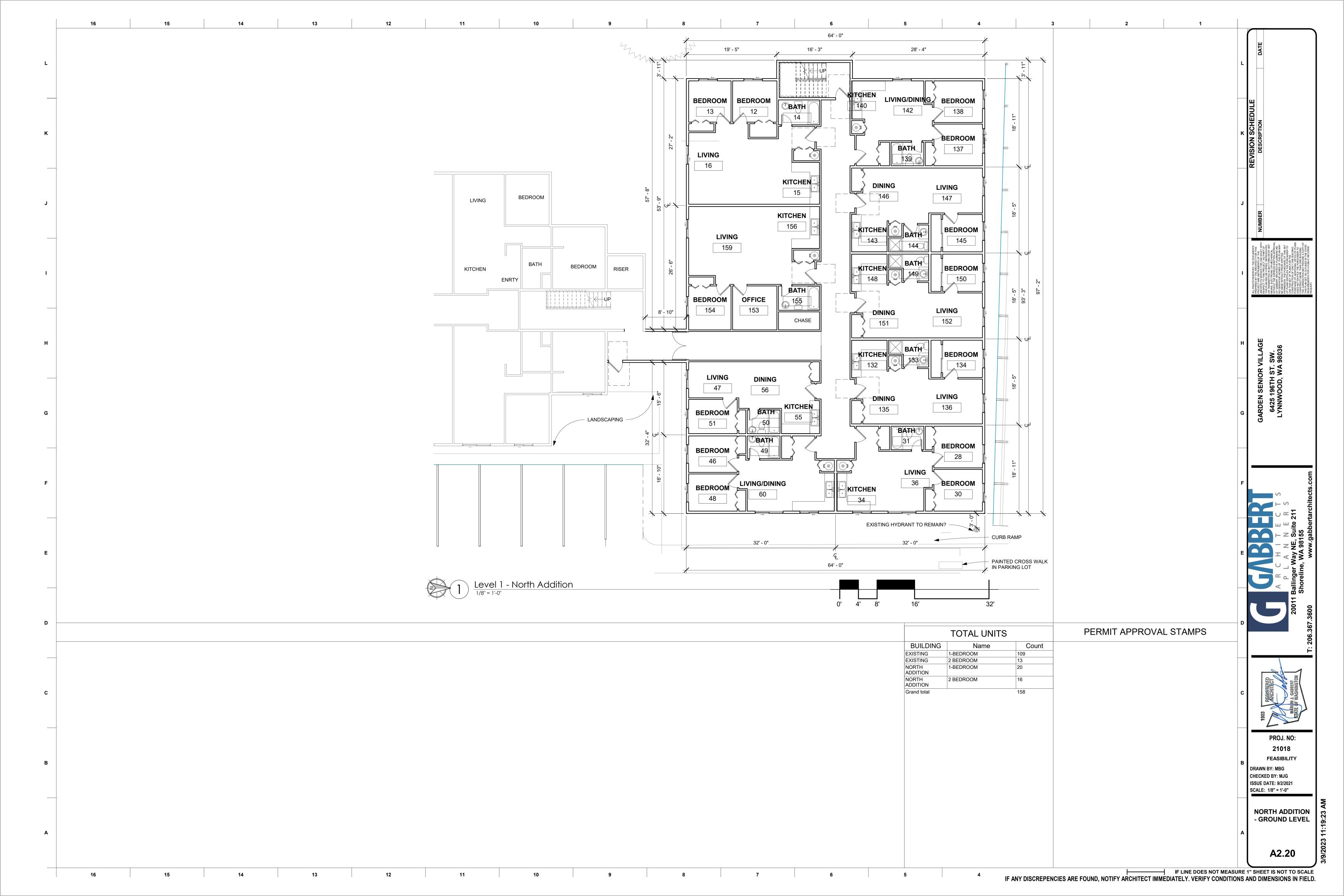


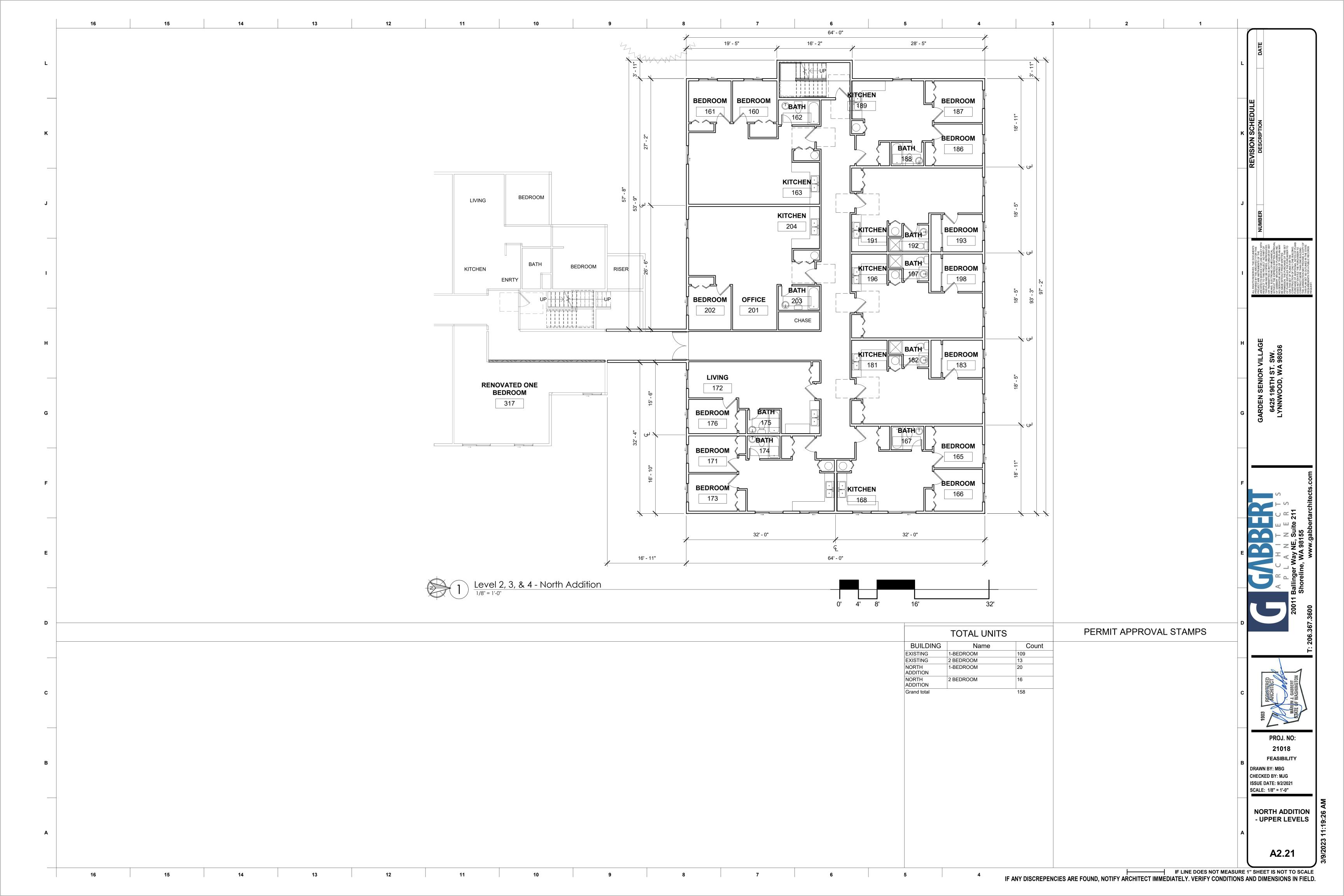


PROJECT TITLE

12.05.22 ELK 03.01.23 1/8"=1'-0"













ROOF ToP 38' - 6"

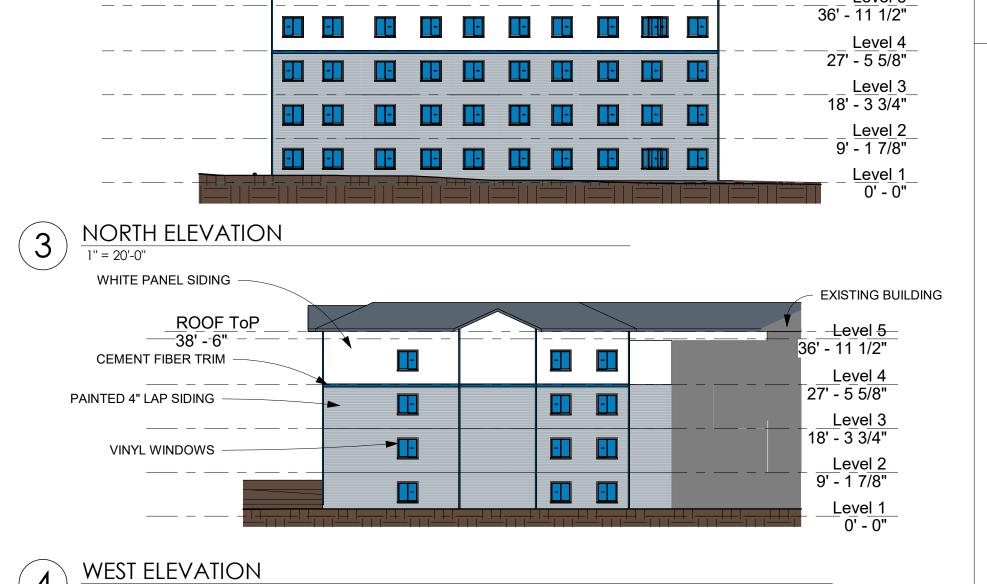
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THESE IMAGES ARE OF THE EXISTING BUILDING THAT WAS RECENTLY RE-SIDED THE NEW ADDITION WILL MATCH THIS IN LOOK AND MATERIAL.

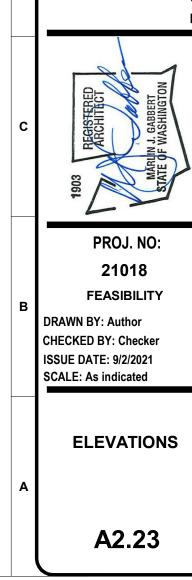
• ALL SIDING TO BE CEMENT FIBER (EITHER PANEL OR 5" LAP)

ALL TRIM TO BE CEMENT FIBER
MANSARD ROOF TO BE ASPHALT SHINGLES
WINDOWS ARE WHITE VINYL



PERMIT APPROVAL STAMPS

__Level_5__



IF LINE DOES NOT MEASURE 1" SHEET IS NOT TO SCALE IF ANY DISCREPENCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY. VERIFY CONDITIONS AND DIMENSIONS IN FIELD.

